

GENERAL NOTES:

- PRESENT ZONING: LI
- LOT AREA: 4.39 ACRES
- MINIMUM LOT WIDTH: 150' AT BUILDING SETBACK LINE
- MAXIMUM LOT COVERAGE: 20%
- MINIMUM BUILDING SETBACKS: FRONT = 50'
SIDE = 25'
REAR = 25'
- CONTOUR INTERVAL: 2 FOOT TOPOGRAPHIC INFORMATION WAS PROVIDED BY WKLE LAND SURVEYING, P.C. ELEVATIONS ARE MEAN SEA LEVEL.
- ALL CONSTRUCTION SHALL CONFORM TO THE CHEROKEE COUNTY DEVELOPMENT REGULATIONS, LATEST EDITION.
- SOME UNDERGROUND UTILITIES AND/OR STRUCTURES MAY NOT BE SHOWN. THE EXACT SIZE AND LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES AND DIMENSIONS.
- A COPY OF THE APPROVED GRADING PLAN MUST BE ON THE JOB SITE AT ALL TIMES THAT CONSTRUCTION IS UNDERWAY.
- PERMISSION MUST BE OBTAINED FROM ANY ADJACENT PROPERTY OWNER WHOSE LAND MAY BE AFFECTED FROM CONSTRUCTION NEAR PROPERTY LINES.
- GRASS ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF WORK.
- IF SILT COLLECTS WITHIN ONE FOOT OF THE TOP OF THE BARRIER THE SILT SHOULD BE REMOVED. SEDIMENT BARRIERS SHOULD BE INSTALLED PRIOR TO START OF WORK TO INSURE PROPER EROSION & SEDIMENT CONTROL. SEDIMENT CONTROL MEASURES SHOULD BE INSPECTED AFTER EACH STORM EVENT.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- SILT FENCES SHALL BE REINFORCED AT LOW POINTS.
- SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED AS THE FIRST ITEM OF THE CONSTRUCTION
- IN OUR OPINION THE ONLY WELL LOCATED ON OR WITHIN 100' OF THE EXTERNAL BOUNDARY, IS DELINEATED, HOWEVER THIS IS NOT CERTIFIED.
- UTILITIES PROTECTION : 1-800-282-7411.
- ALL INFORMATION SHOWN WITHIN RIGHT-OF-WAY IS FOR VISUAL REFERENCE AND WILL BE COMMENTED AND CONFORM TO GEORGIA D.O.T. SPECIFICATIONS.
- CHANGES IN THE CONSTRUCTION PLANS OF STORM DRAINAGE FACILITIES CAUSED BY FIELD CONDITIONS SHALL BE MADE IN COMPLIANCE WITH SECTION 3.02-G OF THE CHEROKEE COUNTY DEVELOPMENT ORDINANCE.
- ALL METAL PIPE SHALL BE FULLY COATED OR ALUMINIZED.
- SIGNAGE SHALL BE PERMITTED THROUGH CHEROKEE COUNTY PLANNING AND ZONING DEPARTMENT.
- CLEARING LIMITS, NOT TO EXCEED 17 ACRES AT ONE TIME. PAGE 10 SOIL. SEDIMENTATION. CONTROL ORDINANCE 2004-0-002.
- Approval of these plans does not constitute approval by Cherokee County of any land disturbing activities within wetland areas. It is the responsibility of the property owner to contact the appropriate regulatory agency for approval of these plans prior to undertaking any land disturbance.
- Approval of these plans does not constitute approval by Cherokee County of any land disturbing activities that may impact any federally-listed threatened or endangered species protected by the Endangered Species Act. It is the responsibility of the property owner to contact the US Fish and Wildlife Service for approval of these plans prior to undertaking any land disturbance.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN 25 OR 50 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FT OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTION DETERMINATION LINE WITHOUT FIRST REQUIRING THE NECESSARY VARIANCES AND PERMITS.
- IT IS OUR OPINION THAT NO STREAM BUFFER VARIANCES ARE NEEDED FOR THIS DEVELOPMENT
- ALL WETLANDS OR STATE WATERS ON OR WITHIN 200 FEET OF THIS PROJECT HAVE BEEN DELINEATED.
- RETAINING WALL DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN STATE OF GEORGIA. THIS DESIGN MUST BE SUBMITTED WITH THE CONSTRUCTION PLANS. INSPECTION AND CERTIFICATION BY SAID DESIGN PROFESSIONAL IS REQUIRED. (OR) A NOTE ON PLANS THAT NO RETAINING WALLS WILL BE CONSTRUCTED. NONE PLANNED AT THIS TIME
- ALL CUTS IN PAVEMENT AND PAVEMENT EDGES ADJOINING NEW PAVEMENT SHALL BE SAW CUT. ALL RIGID PAVEMENT TO RIGID PAVEMENT SHALL B DOMELED WITH NO. 4 BARS SPACED 12-INCHES ON CENTER AND GROUTED.
- ALL PAVEMENTS STRIPING AND MARKINGS SHALL BE THERMOPLASTIC AS PER GEORGIA D.O.T. SPECIFICATION AND NOTED ON THE PLANS.
- LIABILITY AND RESPONSIBILITY OF APPLICANT: THE APPLICANT IS RESPONSIBLE FOR THE RELOCATION, ADJUSTMENT OR REMOVAL OF ALL UTILITY CONFLICTS WITHIN THE DEVELOPMENT AREA AT NOT COST TO CHEROKEE COUNTY. THE COUNTY ENCOURAGES THE APPLICANT TO CONTACT THE UTILITIES PROTECTION CENTER (UPC) FOR "DESIGN LOCATE REQUESTS" WHICH AIDS IN THE LOCATION OF EXISTING UTILITY FACILITIES FOR PRE-DESIGNING, ADVANCE PLANNING PURPOSES, ETC. EXCAVATORS SHALL CONTACT THE UPC IN ACCORDANCE WITH THE OFFICIAL CODE OF GEORGIA ANNOTATED 25.9, BEFORE COMMENCING EXCAVATION ACTIVITIES.
- NO NEW STREETS ARE PLANNED FOR THIS DEVELOPMENT.

34) OWNERSHIP OF COMPLETED WORK: MEDIAN CROSSOVERS, RIGHT-TURN/DECEL LANES, LET-TURN LANES ETC. CONSTRUCTED WITHIN THE COUNTY RIGHT OF WAY BECOMES FEATURES OF THE HIGHWAY AND THE UNCONDITIONAL PROPERTY OF THE COUNTY. THE APPLICANT OR PROPERTY OWNER(S) AND/OR LESSEES ADJACENT TO THE RIGHT OF WAY AT THE CROSSOVER SITE RETAIN NO OWNERSHIP OR LEGAL INTEREST THEREIN. THE COUNTY RESERVES THE RIGHT AND AUTHORITY TO CLOSE, RELOCATE OR REMOVE A CROSSOVER WHEN SUCH ACTION IS DEEMED NECESSARY IN THE INTEREST OF THE PUBLIC SAFETY OR EFFICIENCY OF THE ROADWAY. WHEN DETERMINED NECESSARY BY THE COUNTY, ADDITIONAL RIGHT OF WAY FOR CONSTRUCTION AND PLACEMENT OF AUXILIARY LANES SHALL BE RELINQUISHED TO THE COUNTY (MINIMUM 13 FEET FROM THE BACK OF CURB).

35) Final grading of lots is not to alter natural drainage pattern. Flow shall enter and exit site as existing conditions unless written approval is obtained from lot owner and all downstream affected properties.

36) The proposed use and development of the subject site shall comply with the requirements of the Cherokee County Zoning Ordinance". 08.24.2020

CONSTRUCTION SCHEDULE

MOVE IN	CLEARING & GRUBBING	SILT FENCE & CONSTR. EXIT	GRADING	STORM & SEWER	INLET/OUTLET EROSION CONTROL	GRASSING TEMP. & PERM.
WEEK 1	WEEK 1	WEEK 2	WEEK 2	WEEK 5	WEEK 1	WEEK 3
	WEEK 2	COMPLETION	WEEK 4	WEEK 7	COMPLETION	COMPLETION

MAINTENANCE OF S. & E. CONTROLS	CURB	UTILITIES	PAVING	FINAL LANDSCAPING & CLEARING
WEEK 1	WEEK 4	WEEK 5	WEEK 6	WEEK 7
COMPLETION	WEEK 5	WEEK 6	WEEK 7	COMPLETION

NOTE: DATES ARE APPROXIMATE AND MAY VARY

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

DISTURBED AREAS SHALL BE COVERED WITH TEMPORAY OR PERMANATE GROUND COVER IF LEFT MORE THAN 7 DAYS IT IS OUR OPINION THAT ALL STATE WATERS ON OR WITHIN 200' ARE SHOWN

CONSTRUCTION PLANS FOR: CHEROKEE 2

SITE ADDRESS 500 EAST ROPE MILL ROAD
 LAT 34.1473 / LONG -84.5089 @PROPOSED ENTRANCE
 TIN 15N15 074
 PIN 15-0592-0001
 PROJECT NUMBER PL2020000345
 FIRE RMS 10381

GENERAL CONSTRUCTION NOTES:

Contractor shall contact the Utility Protection Center 72 hours in advance prior to beginning any digging. The number is 1-800-282-7411.

The contractor shall restore and replace any existing structures, utilities, trees, etc. that is not indicated in the contract documents to be removed. These items shall be replaced per appropriate or respective owner's satisfaction and standard specifications. All expenses incurred for this work and materials is the contractors responsibility.

The contractor is responsible to coordinate with the respective utility owners before attempting any construction activities to any utilities or any structures.

Contractor is responsible to obtain any required permits and/or approval from the respective utility owner prior to beginning any construction activities.

The contractor is responsible to allow access to all emergency vehicles at all times.

Under no circumstances shall the contractor's men or equipment encroach or block any driveways or entrances of the property or adjacent properties.

The contractor shall provide the necessary warning devices, signs, barricades, warning lights, etc. to adequately safely warn and control traffic at all times. All traffic control devices will be used on all work on this project in accordance with the Manual on Uniform Traffic Control Device current addition.

The contractor shall ensure that the site has positive drainage at all times away from the building.

The contractor shall locate and protect all utilities at all times. Any utilities damaged by the contractor, his equipment or men shall be replaced per respective owner's standards and specifications.

All retaining walls shall be designed by a Georgia registered engineer prior to any wall construction activity. The contractor shall include in his bid price the cost for all associated retaining wall design services.

Any existing utility structures that are within the limit of construction area and are to remain in place shall be raised or lowered to meet finish grade and/or raised or lowered to provide the required minimum cover. This work shall be done per respective utility company's standard specification and procedure.

ALL GRADES SHOWN ON THE PLANS INDICATES FINISH GRADES, UNLESS INDICATED

ADDITIONAL NOTES:

- IRRIGATION SPRINKLERS ARE NOT ALLOWED IN THE ROAD RIGHT-OF-WAY.
- MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN SEVEN (7) DAYS OF DISTURBANCE 6-33.
- ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF 10' FEET OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKETS AND ACCORDING TO GEORGIA E.P.D. REQUIREMENTS.
- ALL EROSION CONTROL PONDS SHALL HAVE OUTLET STRUCTURE DETAILS WITH INVERT ELEVATIONS AS BUILT PLANS SHALL SHOW ACTUAL AS BUILT ELEVATIONS ON INVERTS AND THE 100 YEAR FLOOD ELEVATION AT TOP OF POND.
- TWO ROWS OF GA D.O.T. TYPE C SILT FENCE SHALL BE INSTALLED ADJACENT TO STATE WATERS AND WILL PROTECT STATE WATERS FROM ANY LAND DISTURBING ACTIVITY.
- ALL PIPE IN A RUNNING STREAM SHALL BE CONCRETE OR ALUMINUM ALLOY.
- ALL CONSTRUCTION SHALL COMPLY WITH THE SPECIFICATIONS AND PROCEDURES DETAILED IN THE CURRENT DEVELOPMENT REGULATIONS OF THE CHEROKEE COUNTY AND THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GA.
- UTILITIES, IF ANY, ARE TO BE UNDERGROUND INSTALLATION.
- ALL DRAINAGE STRUCTURES SHALL BE BUILT ACCORDING TO DOT STANDARDS.

Engineering Notes:

1) Any fill material supporting structural loads shall be engineered with proper documentation including Georgia Registered P.E. Stamp. Submit documentation to the Cherokee County Building Department prior to foundation inspection.

2) Site development as-built drawings, containing a boundary survey, location, elevation, height, and square footage of building, parking areas, utilities, retaining walls, stormwater system, and any other pertinent site development data are required upon completion of this project. Cherokee County needs this information before site inspection for C.O. is issued, per ordinance # 2004-2-001 (7.5-3.3-h.)

3) Temporary grassing or mulching is required every (7) seven days.

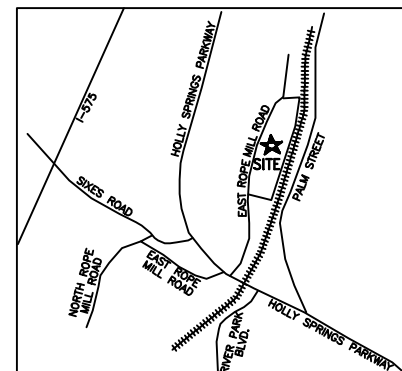
4) No grading within the undisturbed stream buffers or zoning buffers.

5) Wheel stops are needed for non-curbed parking.

OWNER / DEVELOPER
 GLEN NEDZA
 500 EAST ROPE MILL ROAD
 CANTON, GA 30115
TERTIARY PERMITTEE
 24 Hr. Contact: GLEN NEDZA
 PHONE: (404) 886-9502
 EMAIL: gnedza2000@yahoo.com



UTILITY COMPANIES
 POWER: GEORGIA POWER CO. 1(888) 655-5888
 WATER: C.C.W.S.A. (770) 479-1813
 SEWER: INDIVIDUAL SEPTIC (770) 479-0444
 PHONE: WINDSTREAM 1(800) 501-1754



REVISIONS	
DATE	COMMENTS
4-01-21	REVISIONS PER COMMENTS
5-01-21	REVISIONS PER COMMENTS
8-10-21	REVISIONS PER COMMENTS

INDEX	
SHEET	DESCRIPTION
1)	COVER SHEET
2)	EXISTING CONDITIONS
3)	SITE PLAN
4)	GRADING PLAN
5)	TREE PRESERVATION PLAN
6)	PHASE I EROSION PLAN
7)	PHASE II EROSION PLAN
8)	PHASE III EROSION PLAN
9)	EROSION NOTES
10)	EROSION DETAILS
11)	CONSTRUCTION DETAILS
12)	TREE DETAILS
13)	WATER DETAILS
14)	TRUCK MANUEVER PLAN
15)	ROAD PLAN
16)	FIRE PLAN
17)	DRAINAGE BASIN
18)	LIGHTING PLAN
19)	WALL DESIGN
20)	WALL NOTES
21)	ENTRANCE 1 P&P
22)	ENTRANCE 2 P&P
23)	DRIVEWAY P&P

LAND LOT: 592
 DISTRICT - 15, SECTION - 2
 CHEROKEE COUNTY, GEORGIA

Construction Plans For: CHEROKEE 2

BY: WKLE LAND SURVEYING, P.C.
 P.O. BOX 1164
 CANTON, GEORGIA 30169
 PHONE: (770) 479-8364

479-8364 SURVEYING AND MAPPING SOCIETY OF GEORGIA

NOTICE OF INTENT
 VERSION September 24, 2018
 State of Georgia
 Department of Natural Resources
 Environmental Protection Division
 For Coverage Under the 2018 Re-Issuance of the NPDES General Permits To Discharge Storm Water Associated With Construction Activity
 THESE PERMITS EXPIRE JULY 31, 2023

I. FACILITY INFORMATION
 Facility Name: CHEROKEE 2
 Address: 500 EAST ROPE MILL RD
 City: CANTON, State: GA, Zip Code: 30115

II. RECEIVING WATER INFORMATION
 A. Name of Receiving Water: LITTLE WOODS LAKE
 B. Name of NPDES Discharge: CHEROKEE 2
 C. Sampling of Receiving Waters: 10 N10
 D. Sampling of Outlets: 10 N10

III. SITE/OWNER/OPERATOR INFORMATION
 Facility Ownership Type: PRIMARY OWNED FACILITY
 Owner's Name: GLEN NEDZA
 Address: 500 EAST ROPE MILL RD
 City: CANTON, State: GA, Zip Code: 30115

IV. CERTIFICATIONS:
 I certify that to the best of my knowledge and belief, the Erosion, Sedimentation and Pollution Control Plan (EPCP) was prepared by a design professional as defined by the permit, that it meets the requirements of the permit, and that the information provided in this permit application is true and correct to the best of my knowledge and belief.

LEGEND:

- 1) I.P.S. - IRON PIN SET (#5 R.)
- 2) I.P.F. - IRON PIN FOUND
- 3) L.L.L. - LAND LOT LINE
- 4) R/W - RIGHT OF WAY
- 5) P - PROPERTY LINE
- 6) C - CENTER LINE
- 7) R - REINFORCING BAR
- 8) P.P. - POWER &(OR) PHONE POLE
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- 14) S.S.E. - SANITARY SEWER EASEMENT
- 16) P.A.M.E. - POND ACCESS & MANAGEMENT EASEMENT
- 17) --- - TREE SAVE FENCE

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000+ FEET AND AN ANGULAR ERROR OF .02" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000+ FEET.

EQUIPMENT USED FOR MEASUREMENTS: TOPCON GTS - 303, TOTAL STATION

NOTES:
 1) THIS PLAT IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY PRIVATE AND PUBLIC.
 2) UNDERGROUND UTILITIES AND/OR STRUCTURES, IF ANY, MAY NOT BE SHOWN.
 3) THE RIGHT-OF-WAY ON EAST ROPE MILL ROAD IS 5 FEET FROM THE EDGE OF ROAD, PER CHEROKEE COUNTY ROAD DEPARTMENT
 4) REFERENCE PLAT OF A PORTION OF RIGHT-OF-WAY AND TRACT MAP FOR: LOUISVILLE-NASHVILLE RAILROAD COMPANY ATLANTA DIVISION, "OLD LINE V46- SHEET 40."
 5) REFERENCE: PLAT OF VOYLES ESTATE BY: A.W. ROBINSON, SURVEYOR, DATED: JAN. 5, 1968.
 6) REFERENCE: PLAT OF LOT #4 VOYLES SUBDIVISION, BY A.W. ROBINSON SURVEYOR, DATED: OCT. 28, 1967, P.B. 4, PAGE 169.
 7) BENCHMARK ELEVATION WAS TRANSFER FROM B.V. MON., 028-18, DATED: JUNE 28, 1969, ELEVATION 1013.49
 ROAD HAS BEEN ALTERED AND IS NO 8) LONGER CENTERED WITHIN R/W, R/W SHOWN IS PER REFERENCE MATERIAL.
 9) REFERENCE PLAT OF A BOUNDARY SURVEY FOR GLEN NEDZA BY ADAMS-SIMS & ASSOC., INC. DATED SEPT. 8, 1999.
 10)

EROSION CONTROL NOTES:

- 1) TOTAL DISTURBED AREA = 3.82 ACRE
- 2) TOTAL DRAINED AREA = 3.82 ACRES
- 3) REQUIRED SEDIMENT STORAGE FOR THIS SITE IS 511.9 C.Y.
- 4) SUPPLIED STORAGE = 771 L.F. Sd1 x 0.1675 = 129.1 CY + Sd3 72' x 90' 2.5' = 600 CY TOTAL = 729.1 CY
- 5) GRASSING AND NATURAL VEGETATION WILL BE USED FOR WATER QUALITY ON THIS PROJECT.
- 6) TOONIGH CREEK IS AN IMPAIRED STREAM FOR "BIO F" FOUR ITEMS PRE-DEVELOPED CN: 77 POST-DEVELOPED CN: 98
- 7) AS INDICATED IN NOTE 6 THE USE OF FLOCCULANTS AND COAGULANTS SHALL BE IMPLEMENTED AS AN ADDITIONAL EROSION MEASURE.

NO BUFFER ENCROACHMENTS ARE PLANNED FOR THIS PROJECT. THIS PROJECT IS EXEMPT FROM THE VARIANCE REQUIREMENT. NO ENCROACHMENTS ARE PLANNED, THEREFORE NO VARIANCE IS REQUIRED.

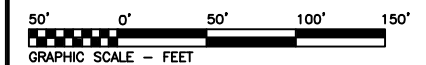
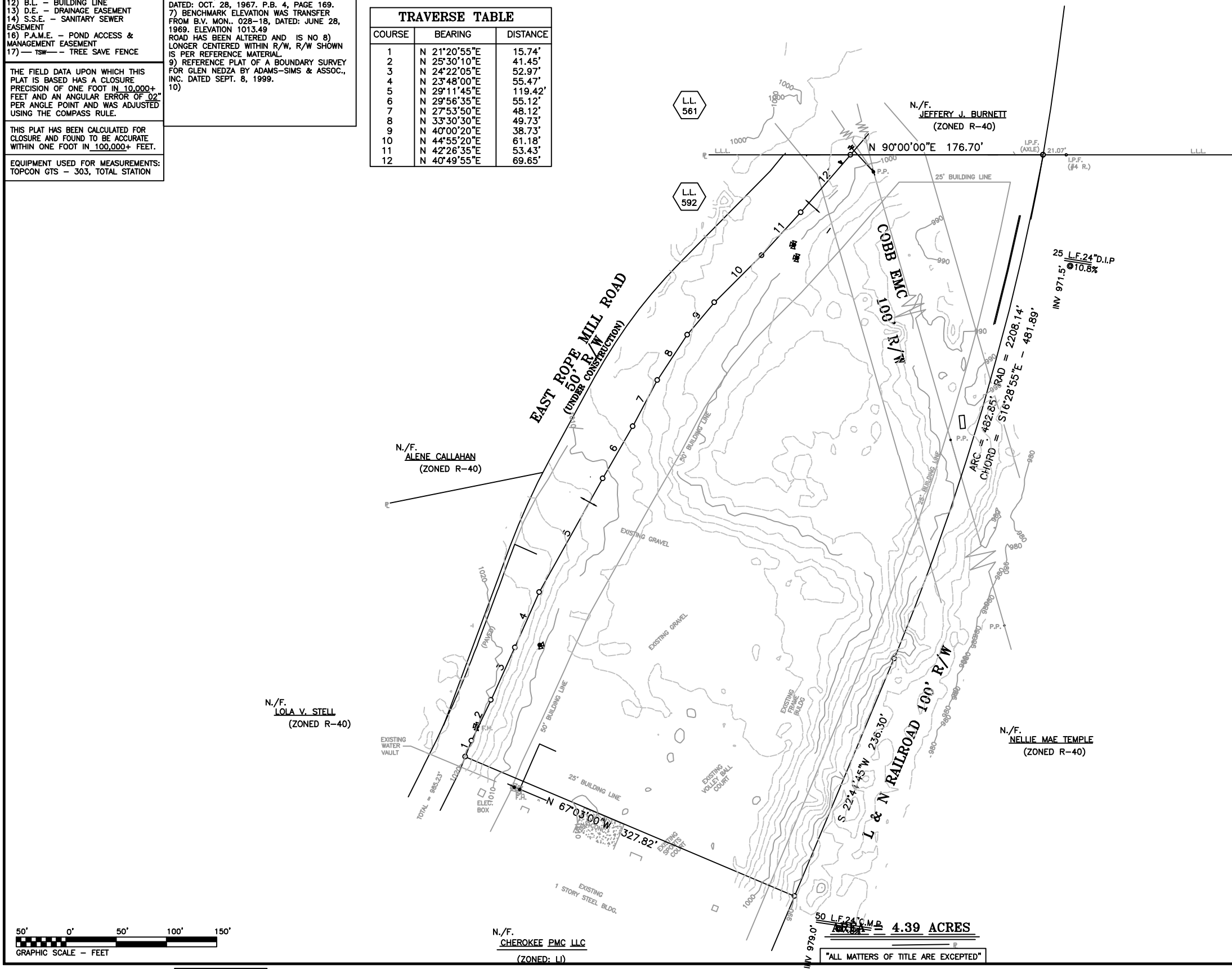
NO WETLANDS WERE OBSERVED.

EROSION CONTROL MEASURES FOR THIS PROJECT WILL INCLUDE INITIAL SEDIMENT STORAGE, PERIMETER CONTROL BMP'S, INTERMEDIATE DRAINAGE BMP'S, AND FINAL STABILIZATION BMP'S. AND UPON FINAL STABILIZATION, ALL EROSION CONTROL BMP'S SHALL BE REMOVED.

NO STATE WATERS WITHIN 200' OF DISTURBED AREA ARE SHOWN.

For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site, provide cover (e.g. plastic sheeting, temporary roofs) to minimize the exposure of these products to precipitation and to stormwater, or a similarly effective means designed to minimize the discharge of pollutants from these areas. Minimization of exposure is not required in cases where exposure to precipitation and to stormwater will not result in a discharge of pollutants, or where exposure of a specific material or product poses little risk to stormwater contamination (such as final products and materials intended for outdoor use).

TRAVERSE TABLE		
COURSE	BEARING	DISTANCE
1	N 21°20'55"E	15.74'
2	N 25°30'10"E	41.45'
3	N 24°22'05"E	52.97'
4	N 23°48'00"E	55.47'
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6	N 29°56'35"E	55.12'
7	N 27°53'50"E	48.12'
8	N 33°30'30"E	49.73'
9	N 40°00'20"E	38.73'
10	N 44°55'20"E	61.18'
11	N 42°26'35"E	53.43'
12	N 40°49'55"E	69.65'



BENCH MARK
ELEV. 1019.97'

N./F. CHEROKEE PMC LLC
(ZONED: L1)

50 L.F. 24" D.I.P
ARC = 482.85' RAD = 2208.14'
CHORD = 516'28"55"E - 481.89'
INV 971.5' @ 10.8%
"ALL MATTERS OF TITLE ARE EXCEPTED"



EXISTING CONDITIONS PLAN FOR:

CHEROKEE 2

LOCATED IN LAND LOT(S): 592
DISTRICT - 15, SECTION - 2
CHEROKEE COUNTY, GEORGIA

PREPARED: DEC. 27, 2019
SCALE: 1" = 50'

BY: WIKLE LAND SURVEYING, P.C.
P.O. BOX 1164
CANTON, GEORGIA 30114
PHONE: (770) 479-8364

479-8364 SURVEYING AND MAPPING SOCIETY OF GEORGIA

FIELD BOOK 52, PAGE 41, FILE R 1061.

- LEGEND:
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- 6) PRE-DEVELOPED CN: 77 POST-DEVELOPED CN: 98
- 7) TOONIGH CREEK IS AN IMPAIRED STREAM FOR "BIO F" FOUR ITEMS FROM APPENDIX "A" TO MITIGATE ARE ITEMS B.D.E. & N.
- 8) AS INDICATED IN NOTE 6 THE USE OF FLOCCULANTS AND COAGULANTS SHALL BE IMPLEMENTED AS AN ADDITIONAL EROSION MEASURE.

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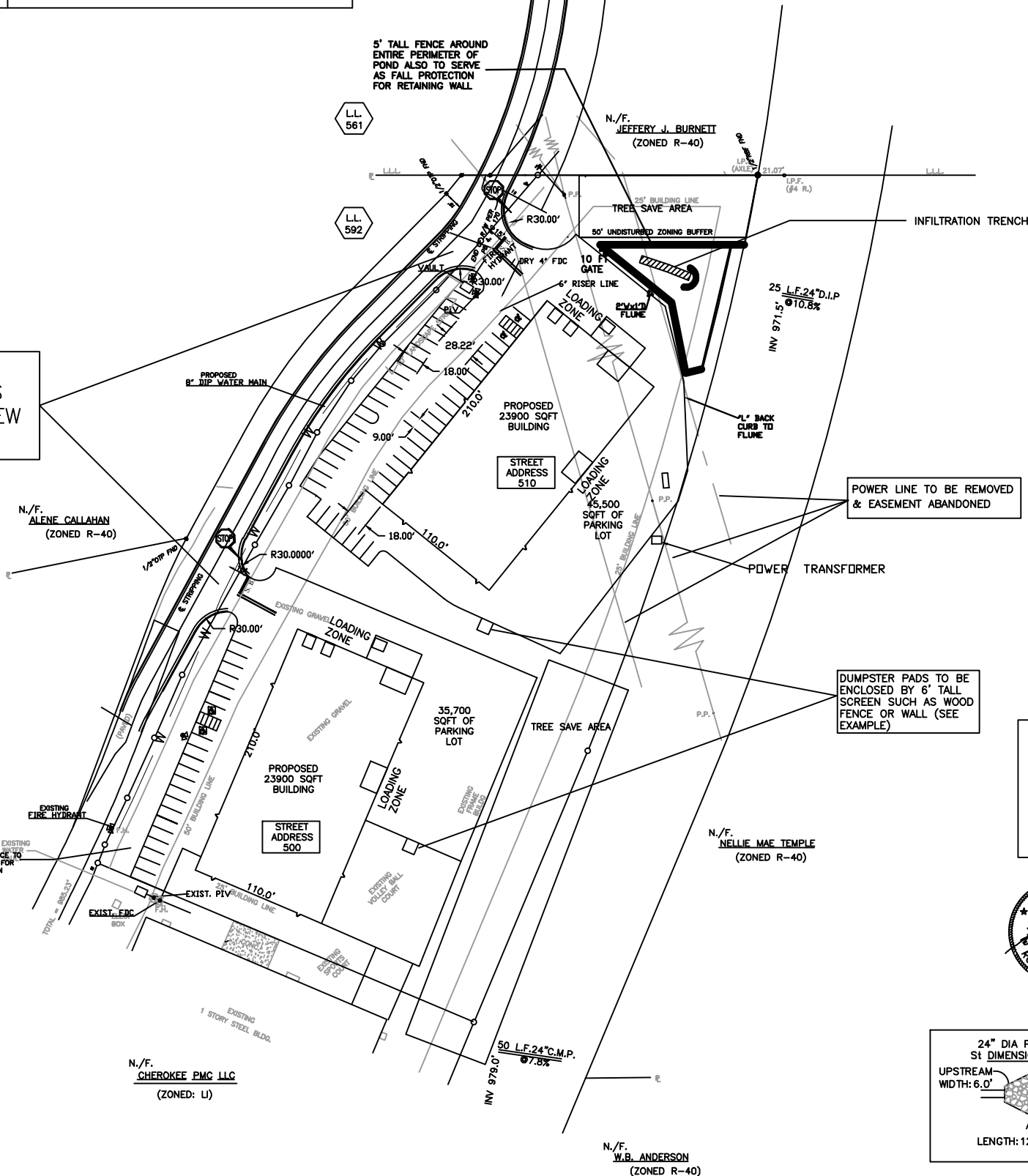
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12	N 40°49'55"E	69.65'

FIELD ADJUST NEW DRIVEWAY CONNECTIONS TO MATCH PLANNED NEW ROAD WAY



PARKING REQUIREMENTS

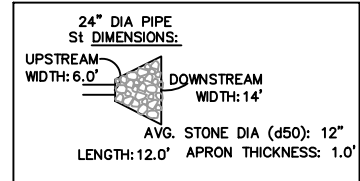
BUILDING "A" TOTAL AREA = 23,900 SQ FT
 OFFICE AREA 2000 SQ FT/285 = 7 SPACES
 WAREHOUSE 21,900 SQ FT/2,000 = 11 SPACES
 TOTAL SPACES REQUIRED = 18
 TOTAL SPACES SUPPLIED = 42 INCLUDING 2 HANDICAP

BUILDING "B" TOTAL AREA = 23,900 SQ FT
 OFFICE AREA 2000 SQ FT/285 = 7 SPACES
 WAREHOUSE 21,900 SQ FT/2,000 = 11 SPACES
 TOTAL SPACES REQUIRED = 18
 TOTAL SPACES SUPPLIED = 65 INCLUDING 4 HANDICAP

SEE SHEET 9 FOR DETAILS

SEE SHEET 21 FOR NOTES

POWER TRANSFORMER TO BE PLACED NO CLOSER THAN 10' FROM BUILDING, OVERHANGS, CANOPIES, EXTERIOR WALLS, BALCONIES, EXTERIOR STAIRS AND/OR WALKWAYS CONNECTED TO BUILDING AS WELL AS ANY WINDOW OR OPENING



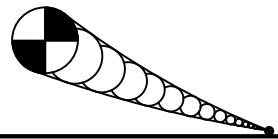
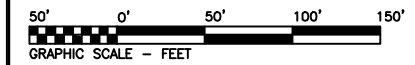
CHEROKEE 2

LOCATED IN LAND LOT(S): 592
 DISTRICT: PLAN, SECTION - 2
 CHEROKEE COUNTY, GEORGIA

PREPARED: DEC. 27, 2019
 SCALE: 1" = 50'

BY: WIKLE LAND SURVEYING, P.C.
 P.O. BOX 1164
 CANTON, GEORGIA 30114
 PHONE: (770) 479-8364

479-8364 SURVEYING AND MAPPING SOCIETY OF GEORGIA



AREA = 4.39 ACRES

"ALL MATTERS OF TITLE ARE EXCEPTED"

FIELD BOOK 52, PAGE 41, FILE R 1061.

LEGEND:

- 1) I.P.S. - IRON PIN SET (#5 R.)
- 2) I.P.F. - IRON PIN FOUND
- 3) L.L.L. - LAND LOT LINE
- 4) R/W - RIGHT OF WAY
- 5) P - PROPERTY LINE
- 6) C - CENTER LINE
- 7) R - REINFORCING BAR
- 8) P.P. - POWER &(OR) PHONE POLE
- 9) N./F. - NOW OR FORMERLY
- 10) --- - FENCE (APPROX. LOC.)
- 11) --- - OVERHEAD UTILITY LINE
- 12) B.L. - BUILDING LINE
- 13) D.E. - DRAINAGE EASEMENT
- 14) S.S.E. - SANITARY SEWER EASEMENT
- 16) P.A.M.E. - POND ACCESS & MANAGEMENT EASEMENT
- 17) --- - TREE SAVE FENCE

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000+ FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000+ FEET.

EQUIPMENT USED FOR MEASUREMENTS: TOPCON GTS - 303, TOTAL STATION

NOTES:

- 1) THIS PLAT IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY PRIVATE AND PUBLIC.
- 2) UNDERGROUND UTILITIES AND/OR STRUCTURES, IF ANY, MAY NOT BE SHOWN.
- 3) THE RIGHT-OF-WAY ON EAST ROPE MILL ROAD IS 5 FEET FROM THE EDGE OF ROAD, PER CHEROKEE COUNTY ROAD DEPARTMENT
- 4) REFERENCE PLAT OF A PORTION OF RIGHT-OF-WAY AND TRACT MAP FOR: LOUISVILLE-NASHVILLE RAILROAD COMPANY ATLANTA DIVISION, "OLD LINE V46- SHEET 40."
- 5) REFERENCE: PLAT OF VOYLES ESTATE BY: A.W. ROBINSON, SURVEYOR, DATED: JAN. 5, 1968.
- 6) REFERENCE: PLAT OF LOT #4 VOYLES SUBDIVISION, BY A.W. ROBINSON SURVEYOR, DATED: OCT. 28, 1967, P.B. 4, PAGE 169.
- 7) BENCHMARK ELEVATION WAS TRANSFER FROM B.V. MON., 028-18, DATED: JUNE 28, 1969, ELEVATION 1013.49
- 8) ROAD HAS BEEN ALTERED AND IS NO 8) LONGER CENTERED WITHIN R/W, R/W SHOWN IS PER REFERENCE MATERIAL.
- 9) REFERENCE PLAT OF A BOUNDARY SURVEY FOR GLEN NEDZA BY ADAMS-SIMS & ASSOC., INC. DATED SEPT. 8, 1999.
- 10)

EROSION CONTROL NOTES:

- 1) TOTAL DISTURBED AREA = 3.82 ACRE
- 2) TOTAL DRAINAGE AREA = 3.82 ACRES
- 3) REQUIRED SEDIMENT STORAGE FOR THIS SITE IS 511.9 C.Y.
- 4) SUPPLIED STORAGE = 771 L.F. Sd1 x 0.1675 = 129.1 CY + Sd3 72' x 90' 2.5' = 600 CY TOTAL = 729.1 CY
- 5) GRASSING AND NATURAL VEGETATION WILL BE USED FOR WATER QUALITY ON THIS PROJECT.
- 6) PRE-DEVELOPED CN: 77 POST-DEVELOPED CN: 98
- 6) TOONIGH CREEK IS AN IMPAIRED STREAM FOR "BIO F" FOUR ITEMS FROM APPENDIX "A" TO MITIGATE ARE ITEMS B,D,E & N.
- 7) AS INDICATED IN NOTE 6 THE USE OF FLOCCULANTS AND COAGULANTS SHALL BE IMPLEMENTED AS AN ADDITIONAL EROSION MEASURE.

NO BUFFER ENCROACHMENTS ARE PLANNED FOR THIS PROJECT. THIS PROJECT IS EXEMPT FROM THE VARIANCE REQUIREMENT. NO ENCROACHMENTS ARE PLANNED, THEREFORE NO VARIANCE IS REQUIRED.

NO WETLANDS WERE OBSERVED.

EROSION CONTROL MEASURES FOR THIS PROJECT WILL INCLUDED INITIAL SEDIMENT STORAGE, PERIMETER CONTROL BMP'S, INTERMEDIATE DRAINAGE BMP'S, AND FINAL STABILIZATION BMP'S. AND UPON FINAL STABILIZATION, ALL EROSION CONTROL BMP'S SHALL BE REMOVED.

NO STATE WATERS WITHIN 200' OF DISTURBED AREA ARE SHOWN.

TRAVERSE TABLE		
COURSE	BEARING	DISTANCE
1	N 21°20'55"E	15.74'
2	N 25°30'10"E	41.45'
3	N 24°22'05"E	52.97'
4	N 23°48'00"E	55.47'
5	N 29°11'45"E	119.42'
6	N 29°56'35"E	55.12'
7	N 27°53'50"E	48.12'
8	N 33°30'30"E	49.73'
9	N 40°00'20"E	38.73'
10	N 44°55'20"E	61.18'
11	N 42°26'35"E	53.43'
12	N 40°49'55"E	69.65'

The entire stormwater management system, including all conveyance, storage, treatment, flowrates, etc. will need to be analyzed by a Georgia registered engineer, using "as-built" data provided by a Georgia registered land surveyor prior to site release/certificate of occupancy. Contact the Engineering Department at 678-493-6074 or blmorgan@cherokeega.com for additional information.

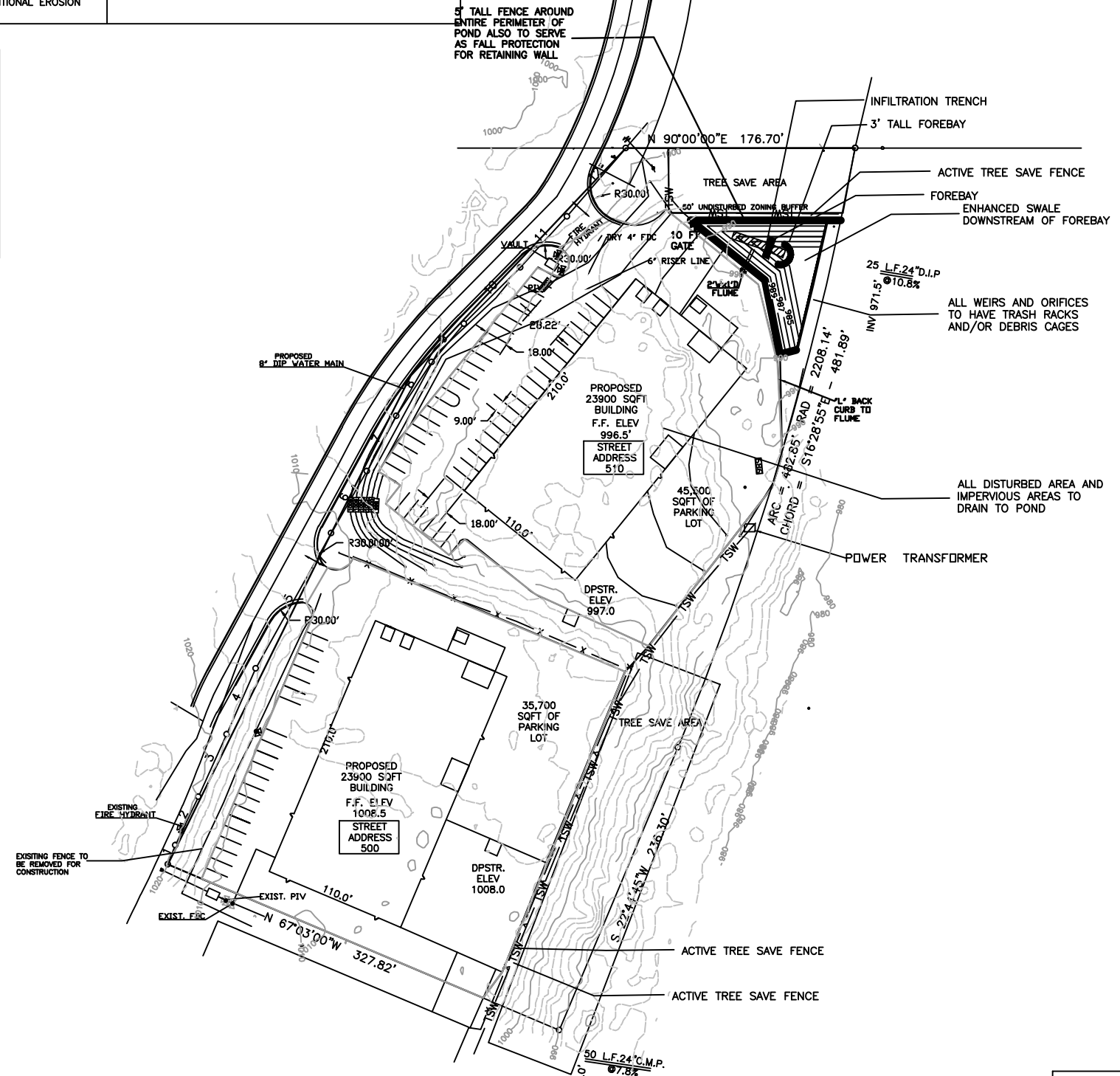
A Stormwater Maintenance Agreement is required for this project prior to the final plat site release/certificate of occupancy. A draft copy of the required agreement can be downloaded from A draft copy of the required agreement can be downloaded from the Cherokee County Stormwater Management website under The forms and documents tab: <https://tinyurl.com/tjgvpvs>

The Stormwater Maintenance Agreement should be submitted via e-mail or on Citiview for preliminary review and approval. Please note that Exhibits A, B, C, and D must be included and must be customized for the project under review. After preliminary approval, the original complete document should be submitted to the Engineering Department for signature by the County Engineer and notarized. The agreement must then be picked up by the applicant and recorded with the Cherokee County Clerk of Court (Deeds and Records Department). Deeds and records only accepts original documents with the notary seal, and they must be 8.5x11 or 8.5x14. The recorded document must be returned to Cherokee County Engineering Department prior to issuance of a final plat or site release/certificate of occupancy.

It is the policy of Cherokee County that drainage easements are dedicated to the public use and are not accepted by Cherokee County for County maintenance and are not considered County property. It is Cherokee County policy that no County forces or equipment shall be used to perform construction to any drainage easement within Cherokee County, unless said easement lies within Cherokee County right-of-way and/or said work is necessary to protect County right-of-way per policy adopted January 14, 1997.

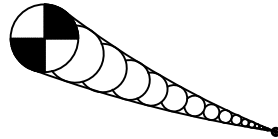
Cherokee County shall not be responsible for maintenance of any pipes, ditches, detention ponds, water quality structures, or other structures within any drainage easement and/or outside the County right-of-way.

For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site, provide cover (e.g. plastic sheeting, temporary roofs) to minimize the exposure of these products to precipitation and to stormwater, or a similarly effective means designed to minimize the discharge of pollutants from these areas. Minimization of exposure is not required in cases where exposure to precipitation and to stormwater will not result in a discharge of pollutants, or where exposure of a specific material or product poses little risk to stormwater contamination (such as food products and materials intended for outdoor use).



SEE SHEET 11 FOR POND CROSS-SECTION & OUTLET CONTROL STRUCTURE DETAIL

BENCH MARK
ELEV. 1019.97'
TOP OF I.P.F.
(AXLE)



AREA = 4.39 ACRES

"ALL MATTERS OF TITLE ARE EXCEPTED"



24" DIA PIPE
ST DIMENSIONS:
UPSTREAM WIDTH: 6.0'
DOWNSTREAM WIDTH: 14'
AVG. STONE DIA (d50): 12"
LENGTH: 12.0' APRON THICKNESS: 1.0'

GRADING PLAN FOR:
CHEROKEE 2

LOCATED IN LAND LOT(S): 592
DISTRICT - 15 , SECTION - 2
CHEROKEE COUNTY, GEORGIA

PREPARED: DEC. 27, 2019
SCALE: 1" = 50'

BY: WIKLE LAND SURVEYING, P.C.
P.O. BOX 1164
CANTON, GEORGIA 30114
PHONE: (770) 479-8364
MEMBER
479-8364 SURVEYING AND MAPPING SOCIETY OF GEORGIA

SUMMARY

GROSS SITE ACREAGE	ACREAGE	UNITS
NET SITE AREA (15 UNITS/ACRE)	4.39	65.9
SITE DENSITY FACTOR (SDF)		65.9

EDF FROM TREE SAVE #1 INVENTORY (ZONING BUFFER) (19.2)
 (Max. 50% ALLOWABLE = 32.9)
EDF FROM TREE SAVE #2 INVENTORY (32.9)
TOTAL APPLICABLE EDF UNITS (52.1)
BALANCE OF SITE DENSITY FACTOR (RDF) REQUIRED 13.8
RDF UNITS PROVIDED THROUGH TREE PLANTINGS (13.8)

SITE DENSITY BALANCE $65.9 - 52.1 - 13.8 = 0.0$

NOTES:

- 1) ALL TREE PROTECTION MEASURES MUST BE INSTALLED PRIOR TO CLEARING.
- 2) UNDISTURBED BUFFERS SHALL BE PLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED IN ACCORDANCE WITH ARTICLE 10 OF CHEROKEE COUNTY ZONING ORDINANCE. ALL REPLANTING MUST BE PRE-APPROVED BY BOTH THE COUNTY ARBORIST AND THE PLANNING AND ZONING DEPARTMENT.
- 3) NO TREES OR SHRUBS WILL BE INSTALLED IN THE RIGHT OF WAY ON PUBLIC ROADS OR IN THE ACCESS AND UTILITY EASEMENTS FOR PRIVATE STREETS UNLESS PREVIOUSLY APPROVED AS PART OF THE REQUIRED NEIGHBORHOOD PLAN.
- 4) CONTACT THE COUNTY ARBORIST FOR A SITE INSPECTION UPON COMPLETION OF LANDSCAPE INSTALLATION PRIOR TO ISSUANCE OF A FINAL PLAT.
- 5) ARBOR TIE OR SIMILAR NYLON TREE STRAPPING/GUYING MATERIAL SHALL NOT BE USED IN A WAY THAT WILL GIRDLE TREE TRUNKS IF LEFT IN PLACE. REFER TO CHEROKEE COUNTY PLANTING DETAILS.
- 6) PLANT SELECTION SUBSTITUTIONS MAY BE CONSIDERED IF APPROVED BY THE COUNTY ARBORIST.

PLANT LEGEND

- RED MAPLE
- SILVER MAPLE
- NELLIE R. STEVENS HOLLY
- EASTERN REDCEDAR
- CRAPE MYRTLE
- TULIP POPLAR
- MAGNOLIA
- GREEN GIANT

65 - NEEDLEPOINT HOLLY
 SINGLE ROW - 36" O.C.
 LANDSCAPE STRIP = 196'
 RELOCATED OUTSIDE OF SIGHT DISTANCE CONFLICT AREA

TREE REMOVAL & REPLACEMENT PLAN
 SCALE: 1"=50'

Quantity	Unit Value	RDF Units	Percentage	Botanical Name	Common Name	Container	Min. Height	Min. Caliper	Notes
4	*0.5	2.0	33%	Acer rubrum var.	Red Maple var.	B&B		3"	Straight trunk, balanced crown
6	*0.5	3.0		Acer saccharinum	Silver Maple	B&B		3"	Straight trunk, balanced crown
5	0.4	2.0	17%	Ilex x Nellie R. Stevens	Nellie R. Stevens Holly	B&B	6'		Straight trunk, full branching to ground
5	0.4	2.0	17%	Juniperus virginiana	Eastern Redcedar	B&B	6'		Straight trunk, full branching to ground
2	0.5	1.0	7%	Lagerstroemia species var.	Crape Myrtle var.	B&B		3"	Single trunk standard, straight, full and balanced form
1	0.4	0.4	3%	Liriodendron tulipifera	Tulip Poplar	B&B		2"	Straight trunk, balanced crown
1	0.4	0.4	3%	Magnolia grandiflora var.	Magnolia var.	B&B	6'		Straight trunk, full branching to ground
6	*0.5	3.0	20%	Thuja 'Green Giant'	Green Giant Western Cedar	B&B	8'		Straight trunk, full branching to ground
30		13.8	100%						
104				Ilex cornuta 'Needlepoint'	Needlepoint Holly	3 gal.	18"		Dense form, good color, well-rooted in pot

B PLANT LIST
 TP-1 SCALE: N/A

* APPLICABLE TO PARKING LOT TREE REQUIREMENT

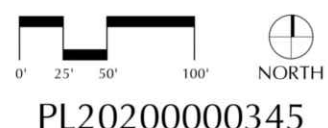
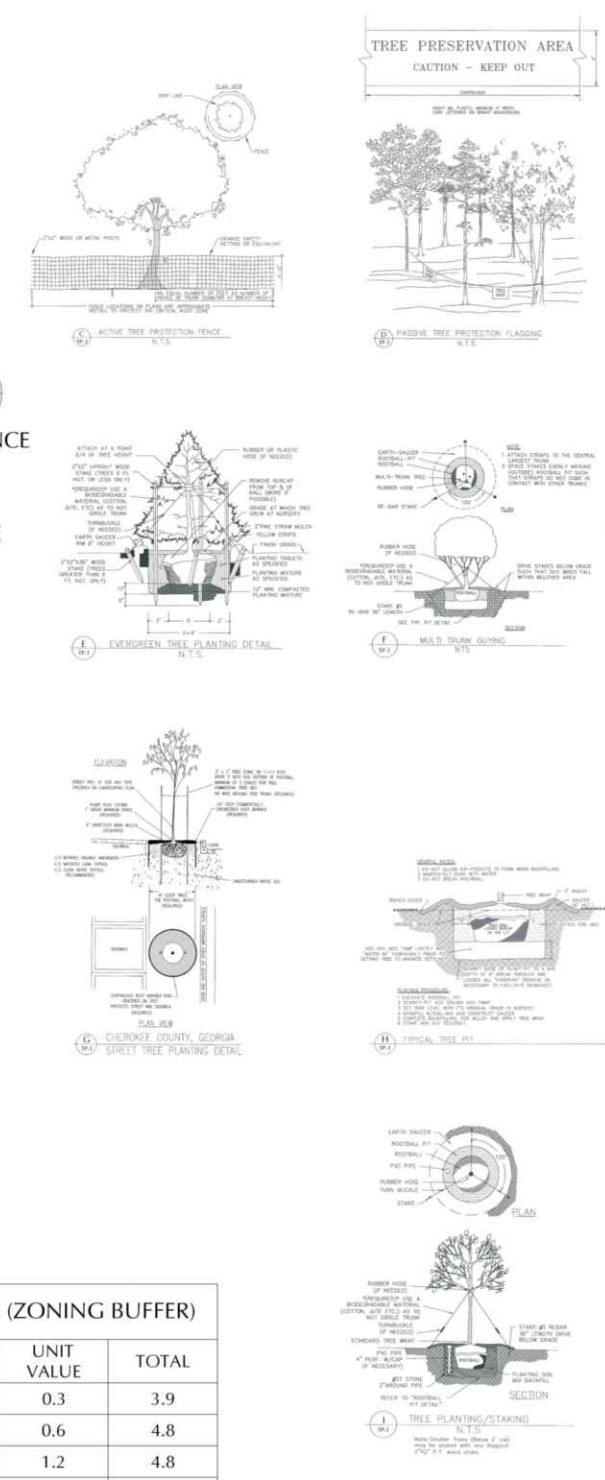
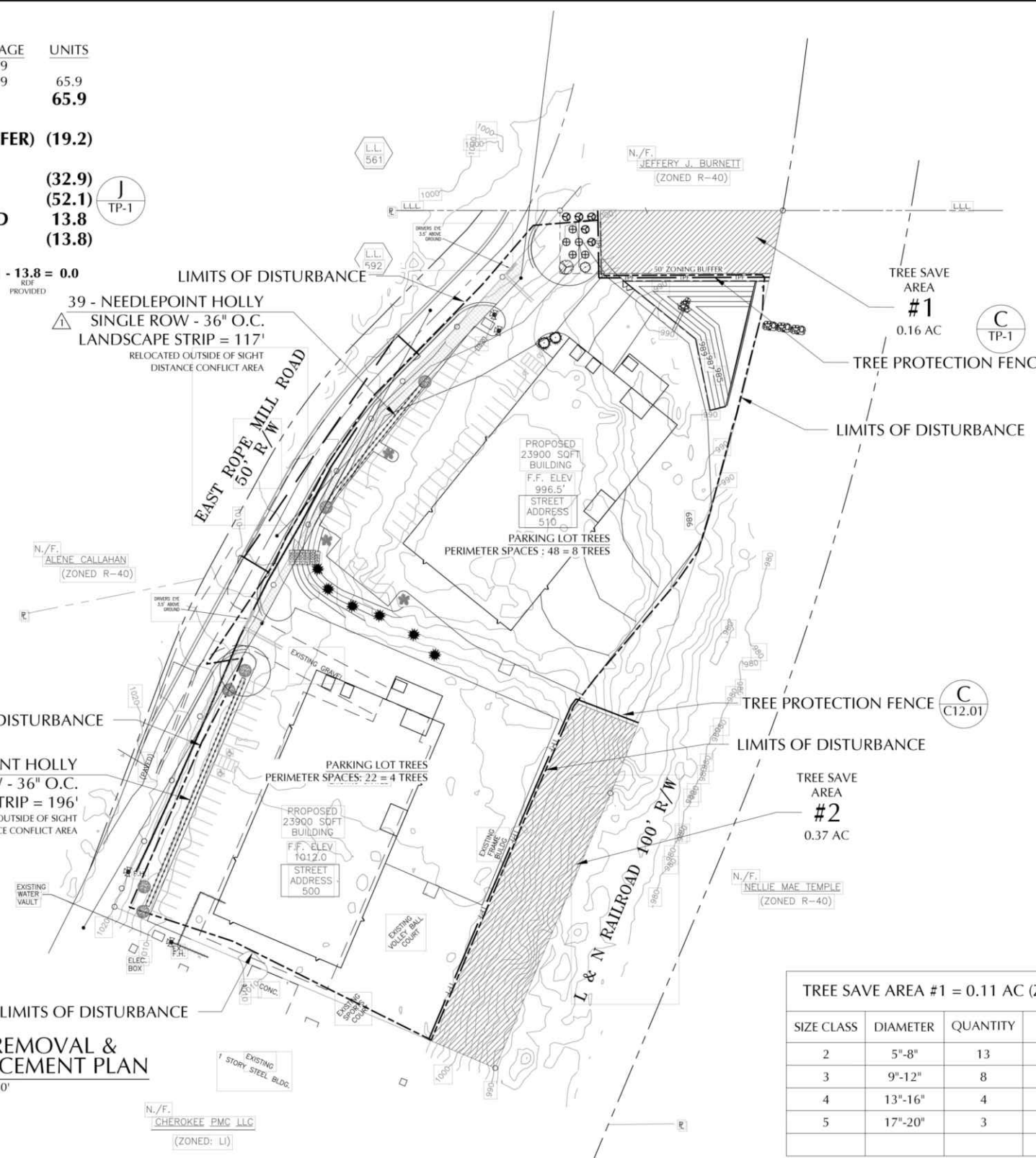
TREE SAVE AREA #1 = 0.11 AC (ZONING BUFFER)

SIZE CLASS	DIAMETER	QUANTITY	UNIT VALUE	TOTAL
2	5"-8"	13	0.3	3.9
3	9"-12"	8	0.6	4.8
4	13"-16"	4	1.2	4.8
5	17"-20"	3	1.9	5.7
				19.2

TREE SAVE AREA #2 = 0.37 AC

SIZE CLASS	DIAMETER	QUANTITY	UNIT VALUE	TOTAL
2	5"-8"	67	0.3	20.1
3	9"-12"	5	0.6	3.0
4	13"-16"	5	1.2	6.0
5	17"-20"	2	1.9	3.8
				32.9

J TREE SAVE INVENTORY
 TP-1 SCALE: N/A



REVISIONS

NO.	DATE	ISSUE
1	10/15/21	COMMENTS



CHEROKEE 2
 CHEROKEE COUNTY, GA - 500 EAST ROPE MILL ROAD
 LAND LOT 592, DIST. 15, 2ND SECT.
GLEN NEDZA
 500 EAST ROPE MILL ROAD, CANTON, GA 30115

TITLE
 TREE REMOVAL & REPLACEMENT PLAN

DATE: 10/4/21
 JOB NO.: 21021
 DWG FILE: 21021lw1
 DRAWN BY: TS
 CHECKED: TS
 SCALE: 1"=50'
 SHEET:

TP-1
 5 OF 20

PL20200000345

FIELD BOOK 52, PAGE 41, FILE R 1061.

LEGEND:

- 1) I.P.S. - IRON PIN SET (#5 R.)
- 2) I.P.F. - IRON PIN FOUND
- 3) L.L.L. - LAND LOT LINE
- 4) R/W - RIGHT OF WAY
- 5) E - PROPERTY LINE
- 6) C - CENTER LINE
- 7) R. - REINFORCING BAR
- 8) P.P. - POWER &(OR) PHONE POLE
- 9) N./F. - NOW OR FORMERLY
- 10) --- - FENCE (APPROX. LOC.)
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- 12) B.L. - BUILDING LINE
- 13) D.E. - DRAINAGE EASEMENT
- 14) S.S.E. - SANITARY SEWER EASEMENT
- 15) P.A.M.E. - POND ACCESS & MANAGEMENT EASEMENT
- 17) --- - TREE SAVE FENCE

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000+ FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000+ FEET.

EQUIPMENT USED FOR MEASUREMENTS: TOPCON GTS - 303, TOTAL STATION

PROJECT NAME AND LOCATION:

GLEN NEDZA
500 E. ROPE MILL ROAD
CANTON, GEORGIA 30115

OWNER:
GLEN NEDZA
500 E. ROPE MILL ROAD
CANTON, GEORGIA 30115

DESCRIPTION:

PRE DEVELOPMENT SITE CHARACTERISTICS: THE SITE IS LOCATED IN LAND LOT 592 OF THE 15TH DISTRICT, 2ND SECTION IN CHEROKEE COUNTY, GEORGIA. THE SITE IS AN UN-DEVELOPED TRACT OF RAW LAND AND IS BORDERED ON THE SOUTH AND NORTH BY OTHER UN-DEVELOPED PROPERTY. IT IS BORDERED ON THE WEST BY E. ROPE MILL ROAD, IT IS BORDERED ON THE EAST BY RAILROAD TRACT. THE HIGH POINT OF THIS PROPERTY IS TO WEST CENTER OF THE PROPERTY AT APPROXIMATELY ELEVATION 1012. RUNOFF FLOWS IN A XXX DIRECTION EVENTUALLY REACHING TOONIGH CREEK. THE LOWEST POINT OF THE PROPERTY IS APPROXIMATELY ELEVATION 980 AT THE NORTHEASTERN SIDE OF THE PROPERTY. THE SITE HAS NO DELINEATED WETLANDS. REVIEW OF FEMA FIRM MAPS INDICATE THAT THE PROPERTY DOES NOT LIE IN ANY FLOOD HAZARD AREA, AS SHOWN ON COMMUNITY PANEL 13057C0244E FOR CHEROKEE COUNTY, GEORGIA, DATED JUNE 07, 2019. SOIL CLASSIFICATIONS ON THE SITE ARE AS SHOWN.

SOIL DISTURBING ACTIVITIES WILL INCLUDE:

CLEARING AND GRUBBING, EXCAVATION FOR FOUNDATIONS, DRIVEWAYS, SEPTIC SYSTEMS, DETENTION PONDS AND YARD PREPARATION AND SEEDING. INITIAL CONTROLS WILL BE THE PERIMETER CONTROL VIA SD1-NS, INTERMEDIATE CONTROL WILL CONTINUE WITH SD1-NS, THE FINAL PHASE WILL BE USING PERMANENT VEGETATION AND REMOVAL OF ALL OTHER EROSION CONTROL FEATURES.

NOTES:

- 1) THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY PRIVATE AND PUBLIC.
- 2) UNDERGROUND UTILITIES AND/OR STRUCTURES, IF ANY, MAY NOT BE SHOWN.
- 3) THE RIGHT-OF-WAY ON EAST ROPE MILL ROAD IS 5 FEET FROM THE EDGE OF ROAD, PER CHEROKEE COUNTY ROAD DEPARTMENT
- 4) REFERENCE PLAT OF A PORTION OF RIGHT-OF-WAY AND TRACT MAP FOR: LOUISVILLE-NASHVILLE RAILROAD COMPANY ATLANTA DIVISION, "OLD LINE V46- SHEET 40."
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- 10)

EROSION CONTROL NOTES:

- 1) TOTAL DISTURBED AREA = 3.82 ACRE
- 2) TOTAL DRAINED AREA = 3.82 ACRES
- 3) REQUIRED SEDIMENT STORAGE FOR THIS SITE IS 511.9 C.Y.
- 4) SUPPLIED STORAGE = 771 L.F. Sd1 x 0.1675 = 129.1 CY + Sd3 72' x 90' 2.5' = 600 CY TOTAL = 729.1 CY
- 5) GRASSING AND NATURAL VEGETATION WILL BE USED FOR WATER QUALITY ON THIS PROJECT.
- 6) PRE-DEVELOPED CN: 77 POST-DEVELOPED CN: 98
- 7) TOONIGH CREEK IS AN IMPAIRED STREAM FOR "BIO F" FOUR ITEMS FROM APPENDIX "A" TO MITIGATE ARE ITEMS B.D.E & N.
- 8) AS INDICATED IN NOTE 6 THE USE OF FLOCCULANTS AND COAGULANTS SHALL BE IMPLEMENTED AS AN ADDITIONAL EROSION MEASURE.

NO BUFFER ENCROACHMENTS ARE PLANNED FOR THIS PROJECT. THIS PROJECT IS EXEMPT FROM THE VARIANCE REQUIREMENT. NO ENCROACHMENTS ARE PLANNED, THEREFORE NO VARIANCE IS REQUIRED.

NO WETLANDS WERE OBSERVED.

EROSION CONTROL MEASURES FOR THIS PROJECT WILL INCLUDE INITIAL SEDIMENT STORAGE, PERIMETER CONTROL BMP'S, INTERMEDIATE DRAINAGE BMP'S, AND FINAL STABILIZATION BMP'S. AND UPON FINAL STABILIZATION, ALL EROSION CONTROL BMP'S SHALL BE REMOVED.

NO STATE WATERS WITHIN 200' OF DISTURBED AREA

For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site, provide cover (e.g. plastic sheeting, temporary roofs) to minimize the exposure of these products to precipitation and to stormwater, or a similarly effective means designed to minimize the discharge of pollutants from these areas. Minimization of exposure is not required in cases where exposure to precipitation and to stormwater will not result in a discharge of pollutants, or where exposure of a specific material or product poses little risk to stormwater contamination (such as final products and materials intended for outdoor use).

TRAVERSE TABLE		
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10	N 44°55'20"E	61.18'
11	N 42°26'35"E	53.43'
12	N 40°49'55"E	69.65'

FLOC LOGS TO BE PLACED IN SWALES AND FLUMES DURING CONSTRUCTION

A LARGE SIGN (MINIMUM 4 FEET X 8 FEET) MUST BE POSTED ON SITE BY THE ACTUAL START DATE OF CONSTRUCTION. THE SIGN MUST BE VISIBLE FROM A PUBLIC ROADWAY. THE SIGN MUST IDENTIFY THE FOLLOWING: (1) CONSTRUCTION SITE, (2) THE PERMITTEE(S), (3) THE CONTACT PERSON(S) AND TELEPHONE NUMBER(S), AND (4) THE PERMITTEE-HOSTED WEBSITE WHERE THE PLAN CAN BE VIEWED MUST BE PROVIDED ON THE SUBMITTED NOI. THE SIGN MUST REMAIN ON SITE AND THE PLAN MUST BE AVAILABLE ON THE PROVIDED WEBSITE UNTIL A NOT HAS BEEN SUBMITTED.

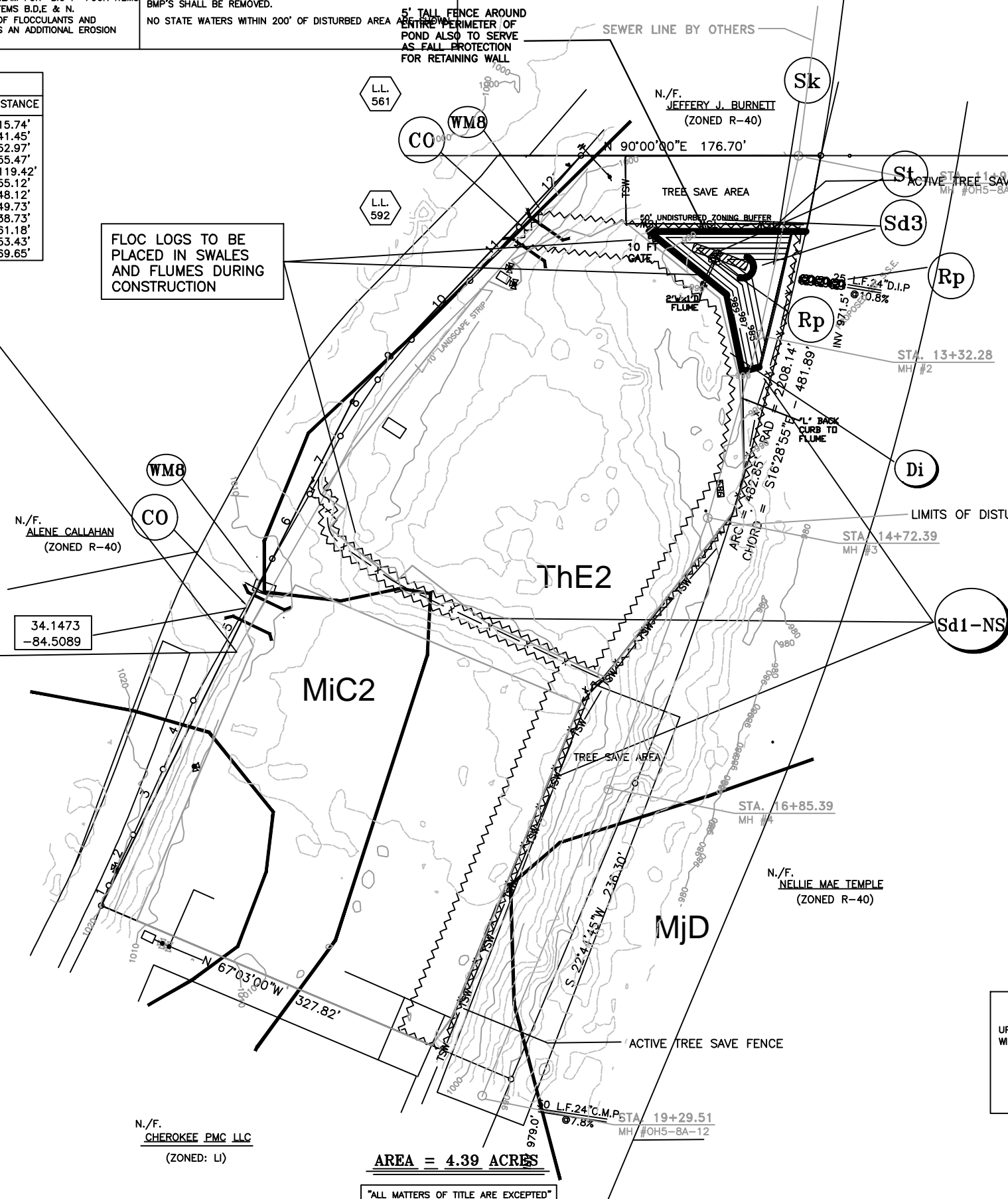
EROSION CONTROL SIGN DETAIL

WEEKLY CONSTRUCTION ACTIVITY SCHEDULE															
ACTIVITY	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
1 SEDIMENT CONTROLS															
2 TREE PROTECTION															
3 NPDES BMP'S INSPECTIONS															
4 CLEARING AND GRADING															
5 HOUSE CONSTRUCTION															
6 GRASS (TEMP.) (PERM.)															
7 UTILITY INSTALLATION															
8 MAINTAIN EROSION CONTROL															
9 DRIVEWAY PAVING															
10 FINAL LANDSCAPING															
11 CLEAN UP															

PLAN APPROVAL DATE WILL BE CONSIDERED THE START OF THIS SCHEDULE



BENCH MARK
ELEV. 1019.97'

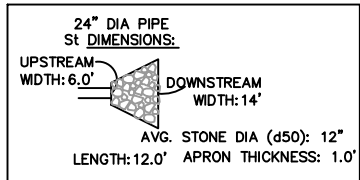


"I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED," PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003."

I FURTHER CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HERE IN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

RON R. WIKLE JR. PLS 2578
CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION No.0000000178
EXPIRES 07-14-2023

MjB - MADISON FINE SANDY LOAM, 2-6% SLOP
TheE2 - TALLAPOOSA GRAVELLY SANDY CLAY LOAM
10-25% SLOPES, ERODED
MiC2 - MADISON GRAVELLY SANDY CLAY LOAM,
2-10% SLOPES, ERODED

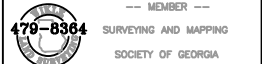


PHASE I EROSION PLAN FOR:
CHEROKEE 2

LOCATED IN LAND LOT(S): 592
DISTRICT - 15 , SECTION - 2
CHEROKEE COUNTY, GEORGIA

PREPARED: DEC. 27, 2019
SCALE: 1" = 50'

BY: WIKLE LAND SURVEYING, P.C.
P.O. BOX 1164
CANTON, GEORGIA 30114
PHONE: (770) 479-8364



FIELD BOOK 52_PAGE 41_FILE R 1061

LEGEND:

- 1) I.P.S. - IRON PIN SET (#5 R.)
- 2) I.P.F. - IRON PIN FOUND
- 3) L.L. - LAND LOT LINE
- 4) R/W - RIGHT OF WAY
- 5) R - PROPERTY LINE
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- 7) R - REINFORCING BAR
- 8) P.P. - POWER (OR) PHONE POLE
- 9) N.F. - NOW OR FORMERLY
- 10) --- FENCE (APPROX. LOC.)
- 11) --- OVERHEAD UTILITY LINE
- 12) B.L. - BUILDING LINE
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- 14) S.S.E. - SANITARY SEWER EASEMENT
- 15) P.A.M.E. - POND ACCESS & MANAGEMENT EASEMENT
- 17) --- TSM --- TREE SAVE FENCE

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000+ FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000+ FEET.

EQUIPMENT USED FOR MEASUREMENTS: TOPCON GTS - 303, TOTAL STATION

PROJECT NAME AND LOCATION:

GLEN NEDZA
500 E. ROPE MILL ROAD
CANTON, GEORGIA 30115

OWNER:
GLEN NEDZA
500 E. ROPE MILL ROAD
CANTON, GEORGIA 30115

DESCRIPTION:

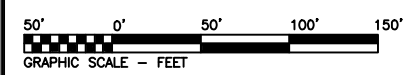
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SOIL DISTURBING ACTIVITIES WILL INCLUDE:

CLEARING AND GRUBBING, EXCAVATION FOR FOUNDATIONS, DRIVEWAYS, SEPTIC SYSTEMS, DETENTION PONDS AND YARD PREPARATION AND SEEDING. INITIAL CONTROLS WILL BE THE PERIMETER CONTROL VIA SD1-NS, INTERMEDIATE CONTROL WILL CONTINUE WITH SD1-NS, THE FINAL PHASE WILL BE USING PERMINATE VEGETATION AND REMOVAL OF ALL OTHER EROSPN CONTROL FEATURES.

WEEKLY CONSTRUCTION ACTIVITY SCHEDULE															
ACTIVITY	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
1 SEDIMENT CONTROLS TREE PROTECTION	■														
2 NPDES BMP'S INSPECTIONS	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
3 CLEARING AND GRADING	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
4 HOUSE CONSTRUCTION															
5 GRASS (TEMP.) (PERM.)															
6 UTILITY INSTALLATION															
7 MAINTAIN EROSION CONTROL	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
8 DRIVEWAY PAVING															
9 FINAL LANDSCAPING															
10 CLEAN UP															

PLAN APPROVAL DATE WILL BE CONSIDERED THE START OF THIS SCHEDULE



BENCH MARK
ELEV. 1019.97'
TOP OF I.P.F.
(AXLE)

EROSION CONTROL NOTES:

- 1) TOTAL DISTURBED AREA = 3.82 ACRE
- 2) TOTAL DRAINED AREA = 3.82 ACRES
- 3) REQUIRED SEDIMENT STORAGE FOR THIS SITE IS 511.9 C.Y.
- 4) SUPPLIED STORAGE = 771 L.F. Sd1 x 0.1675 = 129.1 CY + Sd3 72' x 90' 2.5' = 600 CY TOTAL = 729.1 CY
- 5) GRASSING AND NATURAL VEGETATION WILL BE USED FOR WATER QUALITY ON THIS PROJECT.
- 6) PRE-DEVELOPED CN: 98
- 7) TOONIGH CREEK IS AN IMPAIRED STREAM FOR "BIO F" FOUR ITEMS FROM APPENDIX "A" TO MITIGATE ARE ITEMS B,D,E & N.
- 8) AS INDICATED IN NOTE 6 THE USE OF FLOCCULANTS AND COAGULANTS SHALL BE IMPLEMENTED AS AN ADDITIONAL EROSION MEASURE.

TRAVERSE TABLE		
COURSE	BEARING	DISTANCE
1	N 21°20'55"E	15.74'
2	N 25°30'10"E	41.45'
3	N 24°22'05"E	52.97'
4	N 23°48'00"E	55.47'
5	N 29°11'45"E	119.42'
6	N 29°56'35"E	55.12'
7	N 27°53'50"E	48.12'
8	N 33°30'30"E	49.73'
9	N 40°00'20"E	38.73'
10	N 44°55'20"E	61.18'
11	N 42°26'35"E	53.43'
12	N 40°49'55"E	69.65'

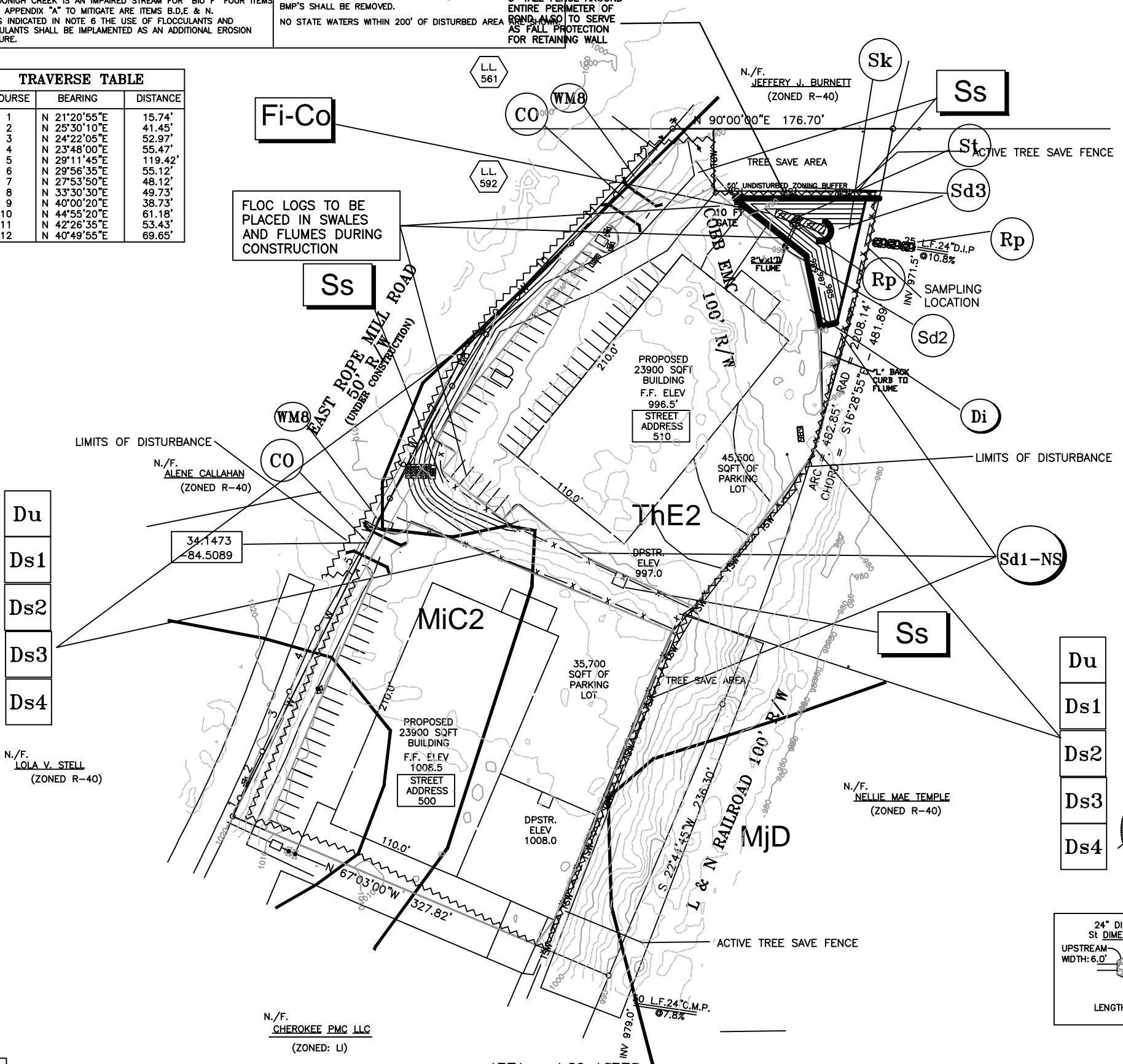
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NO WETLANDS WERE OBSERVED.

EROSION CONTROL MEASURES FOR THIS PROJECT WILL INCLUDED INITIAL SEDIMENT STORAGE, PERIMETER CONTROL BMP'S, INTERMEDIATE DRAINAGE BMP'S, AND FINAL STABILIZATION BMP'S. AND UPON FINAL STABILIZATION, ALL EROSION CONTROL BMP'S SHALL BE REMOVED.

NO STATE WATERS WITHIN 200' OF DISTURBED AREA.

For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site, provide cover (e.g. plastic sheeting, temporary roofs) to minimize the exposure of these products to precipitation and to stormwater, or a similarly effective means designed to minimize the discharge of pollutants from these areas. Minimization of exposure is not required in cases where exposure to precipitation and to stormwater will not result in a discharge of pollutants, or where exposure of a specific material or product poses little risk to stormwater contamination (such as final products and materials intended for outdoor use).



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MjB - MADISON FINE SANDY LOAM, 2-6% SLOPE
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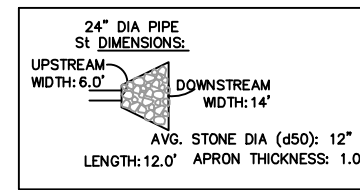
PHASE II EROSION PLAN FOR:
CHEROKEE 2

LOCATED IN LAND LOT(S): 592
DISTRICT - 15, SECTION - 2
CHEROKEE COUNTY, GEORGIA

PREPARED: DEC, 27, 2019
SCALE: 1" = 50'

BY: WIKLE LAND SURVEYING, P.C.
P.O. BOX 1164
CANTON, GEORGIA 30114
PHONE: (770) 479-8364

479-8364 SURVEYING AND MAPPING SOCIETY OF GEORGIA



AREA = 4.39 ACRES

"ALL MATTERS OF TITLE ARE EXCEPTED"

FIELD BOOK 52, PAGE 41, FILE R 1061.

LEGEND:

- 1) I.P.S. - IRON PIN SET (#5 R.)
- 2) I.P.F. - IRON PIN FOUND
- 3) L.L. - LAND LOT LINE
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- 5) E - PROPERTY LINE
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EQUIPMENT USED FOR MEASUREMENTS: TOPCON GTS - 303, TOTAL STATION

PROJECT NAME AND LOCATION:

GLEN NEDZA
500 E. ROPE MILL ROAD
CANTON, GEORGIA 30115

OWNER:
GLEN NEDZA
500 E. ROPE MILL ROAD
CANTON, GEORGIA 30115

DESCRIPTION:

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3 CLEARING AND GRADING	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
4 HOUSE CONSTRUCTION	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
5 GRASS (TEMP.) (PERM.)	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
6 UTILITY INSTALLATION	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
7 MAINTAIN EROSION CONTROL	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
8 DRIVEWAY PAVING	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
9 FINAL LANDSCAPING	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
10 CLEAN UP	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■

PLAN APPROVAL DATE WILL BE CONSIDERED THE START OF THIS SCHEDULE

NOTES:
1) THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY PRIVATE AND PUBLIC.
2) UNDERGROUND UTILITIES AND/OR STRUCTURES, IF ANY, MAY NOT BE SHOWN.
3) THE RIGHT-OF-WAY ON EAST ROPE MILL ROAD IS 5 FEET FROM THE EDGE OF ROAD, PER CHEROKEE COUNTY ROAD DEPARTMENT
4) REFERENCE PLAT OF A PORTION OF RIGHT-OF-WAY AND TRACT MAP FOR: LOUISVILLE-NASHVILLE RAILROAD COMPANY ATLANTA DIVISION, "OLD LINE V46- SHEET 40."
5) REFERENCE: PLAT OF VOYLES ESTATE BY: A.W. ROBINSON, SURVEYOR, DATED: JAN. 5, 1968.
6) REFERENCE: PLAT OF LOT #4 VOYLES SUBDIVISION, BY A.W. ROBINSON SURVEYOR, DATED: OCT. 28, 1967, P.B. 4, PAGE 189.
7) BENCHMARK ELEVATION WAS TRANSFER FROM B.V. MON., 028-18, DATED: JUNE 28, 1969. ELEVATION 1013.49
ROAD HAS BEEN ALTERED AND IS NO 8) LONGER CENTERED WITHIN R/W, R/W SHOWN IS PER REFERENCE MATERIAL.
9) REFERENCE PLAT OF A BOUNDARY SURVEY FOR GLEN NEDZA BY ADAMS-SIMS & ASSOC., INC. DATED SEPT. 8, 1999.
10)

EROSION CONTROL NOTES:

- 1) TOTAL DISTURBED AREA = 3.82 ACRE
- 2) TOTAL DRAINED AREA = 3.82 ACRES
- 3) REQUIRED SEDIMENT STORAGE FOR THIS SITE IS 511.9 C.Y.
- 4) SUPPLIED STORAGE = 771 L.F. Sd1 x 0.1675 = 129.1 CY + Sd2 72' x 90' 2.5' = 600 CY TOTAL = 729.1 CY
- 5) GRASSING AND NATURAL VEGETATION WILL BE USED FOR WATER QUALITY ON THIS PROJECT.
- 6) PRE-DEVELOPED CN: 77 POST-DEVELOPED CN: 98
- 7) TOONIGH CREEK IS AN IMPAIRED STREAM FOR "BIO F" FOUR ITEMS FROM APPENDIX "A" TO MITIGATE ARE ITEMS B,D,E & N.
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NO STATE WATERS WITHIN 200' OF DISTURBED AREA SHALL BE PROTECTED AS FALL PROTECTION FOR RETAINING WALL

For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site, provide cover (e.g. plastic sheeting, temporary roofs) to minimize the exposure of these products to precipitation and to stormwater, or a similarly effective means designed to minimize the discharge of pollutants from these areas. Minimization of exposure is not required in cases where exposure to precipitation and to stormwater will not result in a discharge of pollutants, or where exposure of a specific material or product poses little risk to stormwater contamination (such as final products and materials intended for outdoor use).

TRAVERSE TABLE		
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3	N 24°22'05"E	52.97'
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8	N 33°30'30"E	49.73'
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10	N 44°55'20"E	61.18'
11	N 42°26'35"E	53.43'
12	N 40°49'55"E	69.65'

- Du
- Ds1
- Ds2
- Ds3
- Ds4

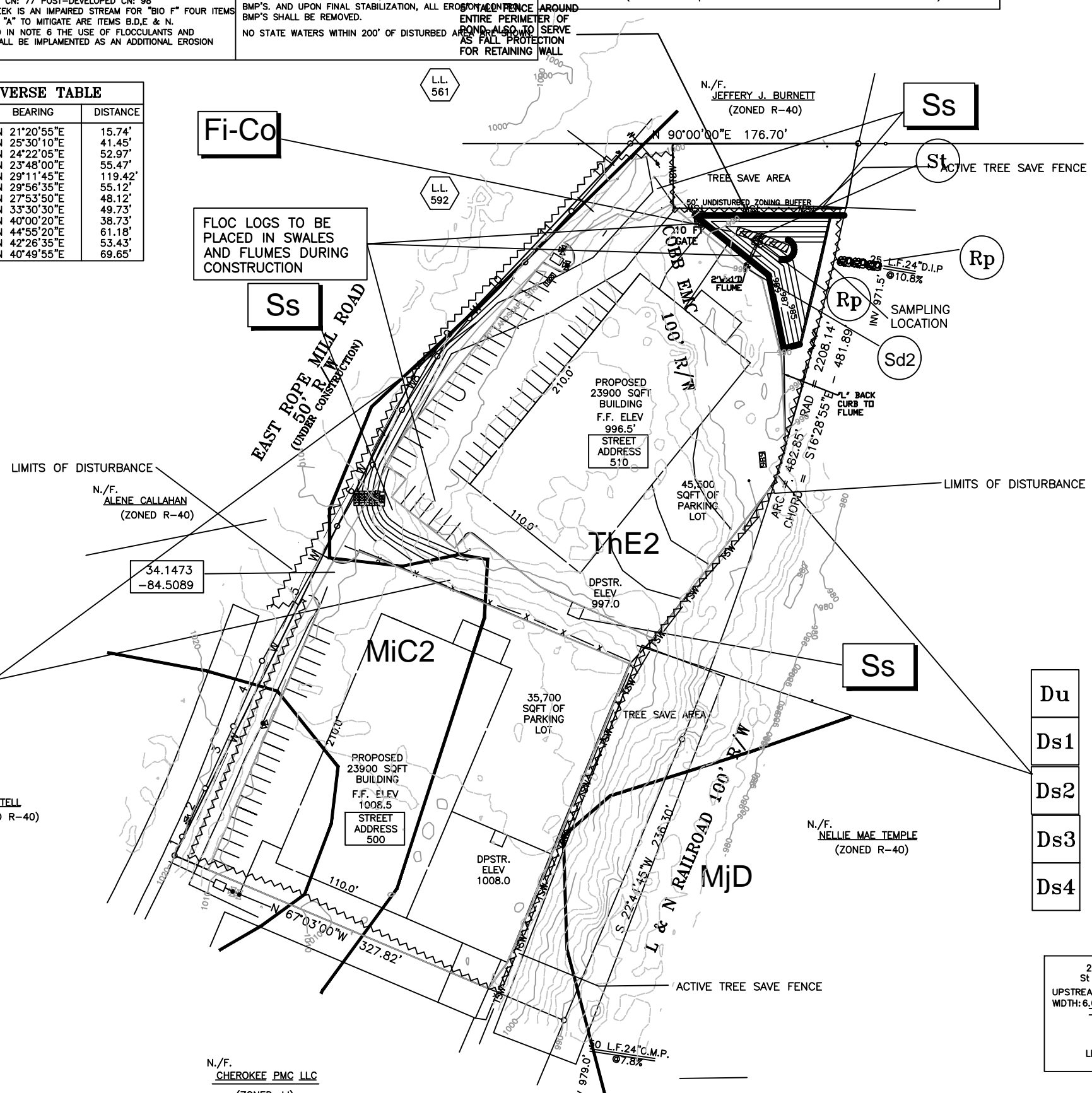
- Du
- Ds1
- Ds2
- Ds3
- Ds4



BENCH MARK
ELEV. 1019.97'
TOP OF I.P.F.
(AXLE)

AREA = 4.39 ACRES

"ALL MATTERS OF TITLE ARE EXCEPTED"



"I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED," PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003."

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MjB - MADISON FINE SANDY LOAM, 2-6% SLOPES.
ThE2 - TALLAPOOSA GRAVELLY SANDY CLAY LOAM, 10-25% SLOPES, ERODED
MiC2 - MADISON GRAVELLY SANDY CLAY LOAM, 2-10% SLOPES, ERODED



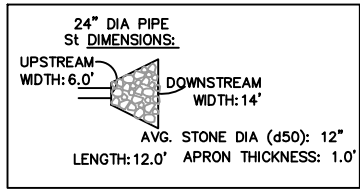
PHASE III EROSION PLAN FOR:
CHEROKEE 2

LOCATED IN LAND LOT(S): 592
DISTRICT - 15, SECTION - 2
CHEROKEE COUNTY, GEORGIA

PREPARED: DEC. 27, 2019
SCALE: 1" = 50'

BY: WIKLE LAND SURVEYING, P.C.
P.O. BOX 1164
CANTON, GEORGIA 30114
PHONE: (770) 479-8364

479-8364 SURVEYING AND MAPPING SOCIETY OF GEORGIA



SITE MAPS: SEE ATTACHED PLAN FOR AREAS OF SOILS, DISTURBANCE, LOCATION OF SURFACE WATERS, WETLANDS, PROTECTED AREAS, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS AND STORM WATER DISCHARGE POINTS.

OTHER CONTROLS WASTE DISPOSAL WASTE MATERIALS WASTE MATERIAL SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

SPILL CONTROL PRACTICES IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND...

SEEDING SCHEDULE TABLE with columns: DATES, SPECIES, APPLICATION RATES. Includes rows for 10-1 to 3-1, 3-1 to 8-15, 4-1 to 6-15, 8-15 to 11-15.

VEGETATIVE MEASURES TABLE with columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION. Includes rows De1, De2, De3.

REPORTING 1. The applicable permittees are required to submit the sampling results to the EPD at the address shown in Part I.C.C. by the fifteenth day of the month following the reporting period.

CONTROLS THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS.

HAZARDOUS WASTE ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.

SPILL PREVENTION MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

STRUCTURAL MEASURES A heading to prevent runoff from being the erosion control. It is to be installed on all slopes of 1:1 or steeper.

EROSION NOTES: 1. Strippling of vegetation, grading, and other development activities shall be conducted in such a manner so as to minimize erosion.

PRIMARY PERMITEE/INSPECTORS (1) Each day when any type of construction activity has taken place at a primary permittee's site, a certified personnel provided by the primary permittee shall inspect (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment.

CONTROLS IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE.

HAZARDOUS PRODUCTS THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECYCLED.

APPENDIX 1 During construction activities, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as 'trout streams' requiring a buffer.

CONCRETE TRUCKS CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRAIN WASH WATER ON THE SITE.

Waters Supporting Warm Water Fisheries Table with columns: Surface Water Drainage Area, square miles, and various flow rate categories.

17) AMENDMENTS / REVISIONS TO THE ES & PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL. 18) WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY SECTION 404 PERMIT.

INVENTORY FOR POLLUTION PREVENTION PLAN THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ON-SITE DURING CONSTRUCTION: Detergents, Masonry Blocks, Fertilizers, Cleaning Solvents, Concrete, Roofing Materials, Metal Studs, Petroleum Based Products.

HAZARDOUS PRODUCTS THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RECYCLED.

APPENDIX 2 During construction activities, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as 'trout streams' requiring a buffer.

CONCRETE TRUCKS CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRAIN WASH WATER ON THE SITE.

Waters Supporting Warm Water Fisheries Table with columns: Surface Water Drainage Area, square miles, and various flow rate categories.

19) THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. 20) EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL.

DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

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Waters Supporting Warm Water Fisheries Table with columns: Surface Water Drainage Area, square miles, and various flow rate categories.

21) ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. 22) For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site, provide cover (e.g. plastic sheeting, temporary roofs) to minimize the exposure of these products to precipitation or to stormwater, or a similarly effective measure to minimize the discharge of pollutants from these areas.

INSPECTIONS BY A QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR 100003.

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Waters Supporting Warm Water Fisheries Table with columns: Surface Water Drainage Area, square miles, and various flow rate categories.

23) I FURTHER CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE DISTRICT DESCRIBED HEREIN BY MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

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INSPECTIONS BY A QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR 100003.

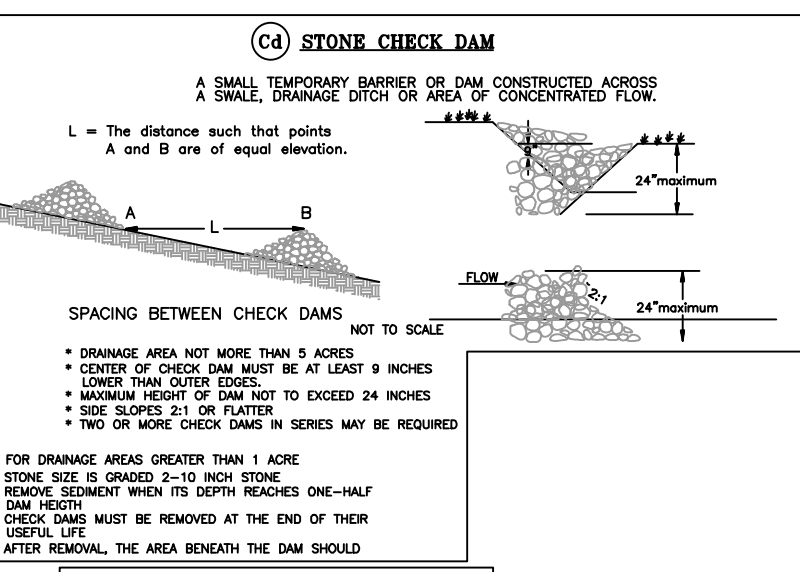
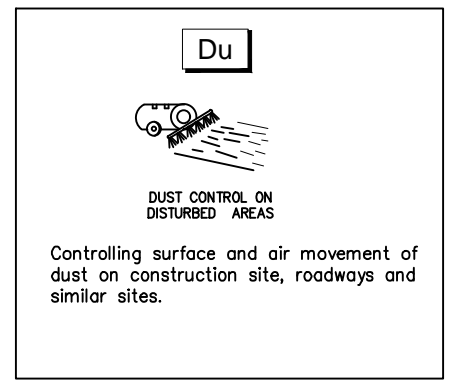
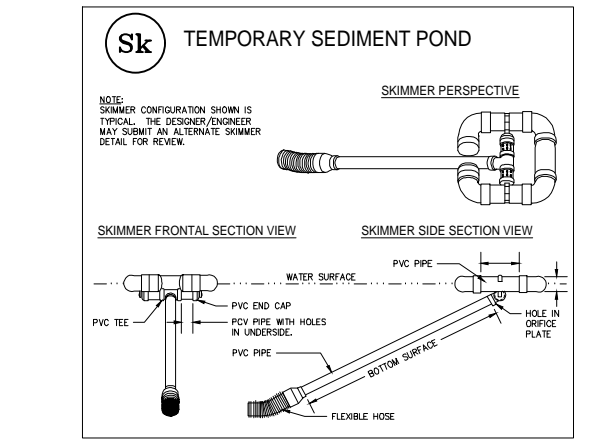
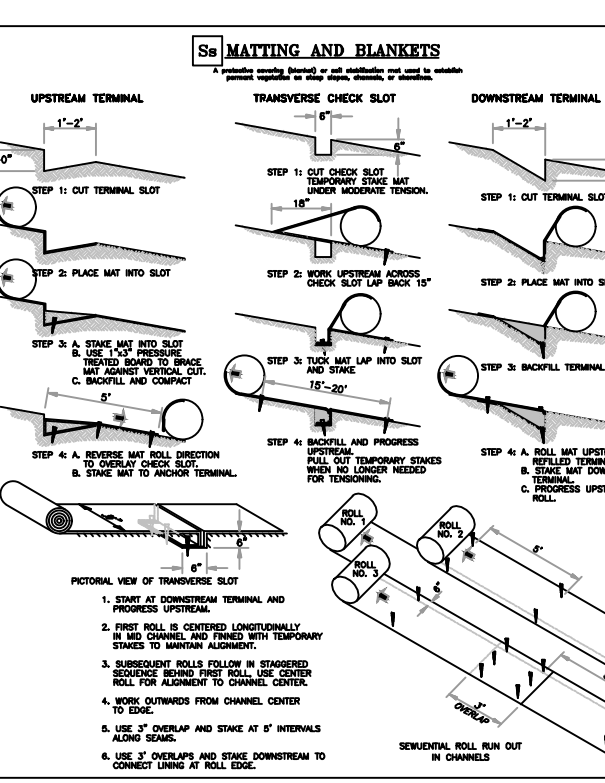
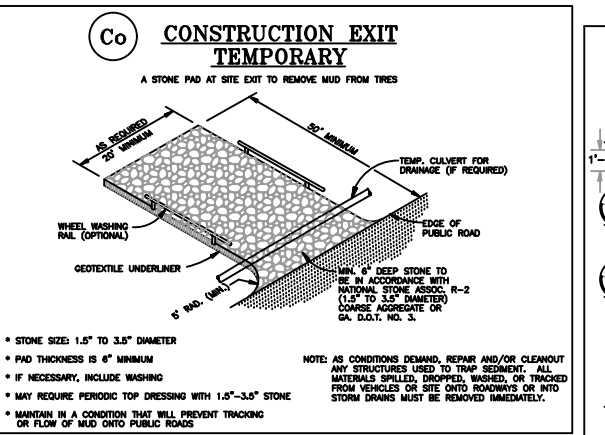
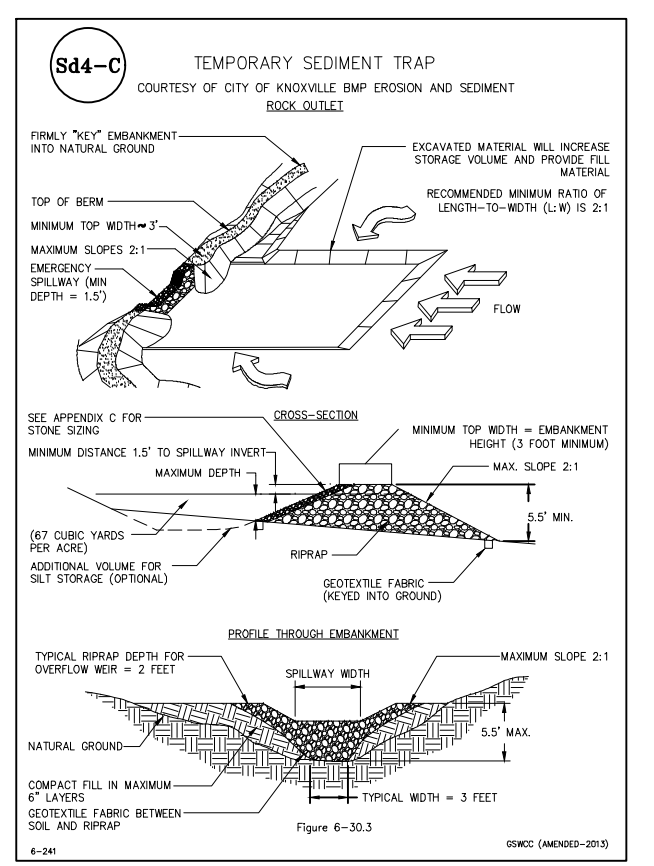
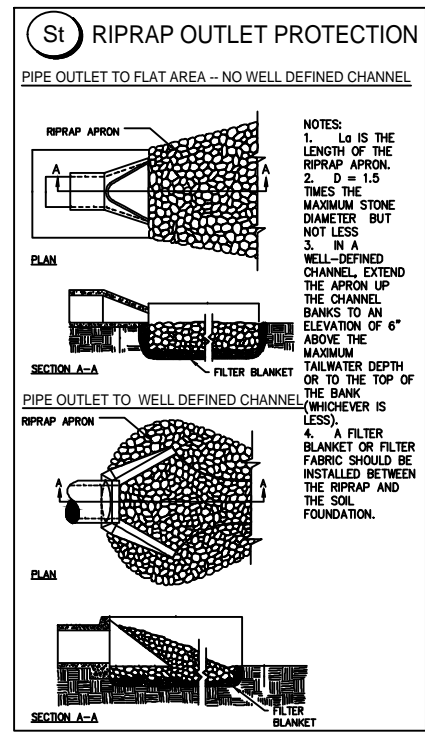
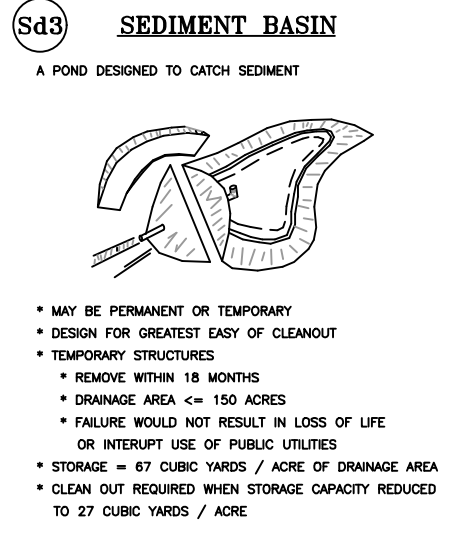
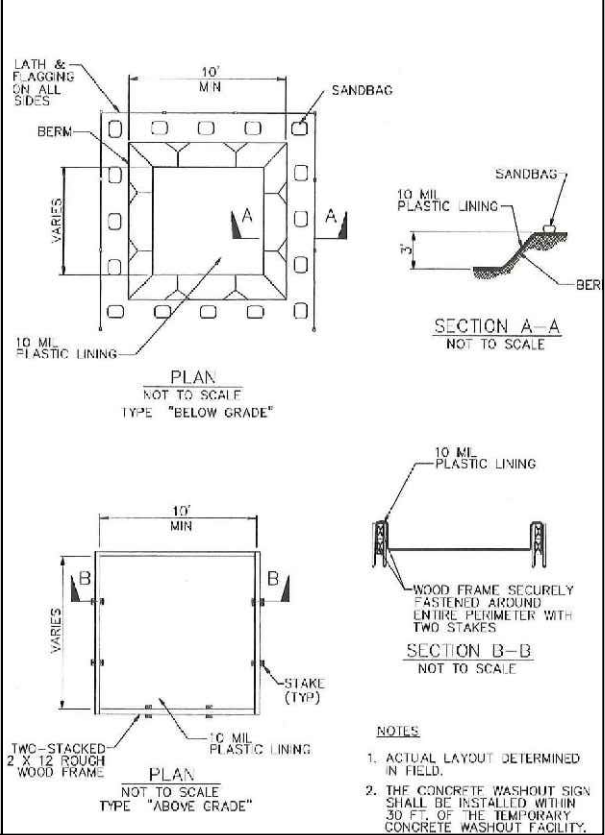
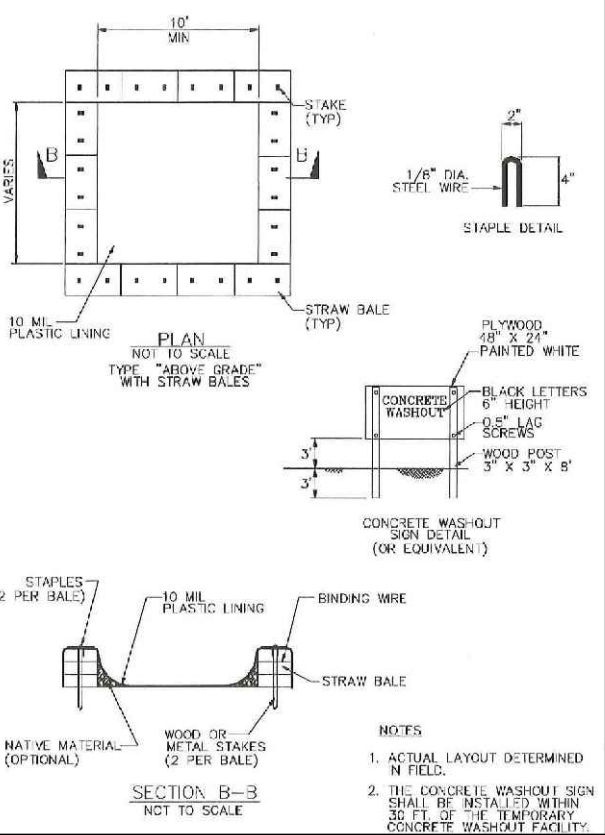
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APPENDIX 9 During construction activities, double the width of the 25 foot undisturbed vegetated buffer along all State waters requiring a buffer and the 50 foot undisturbed vegetated buffer along all State waters classified as 'trout streams' requiring a buffer.

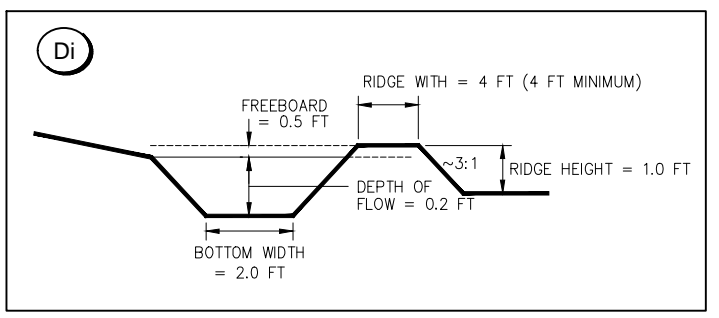
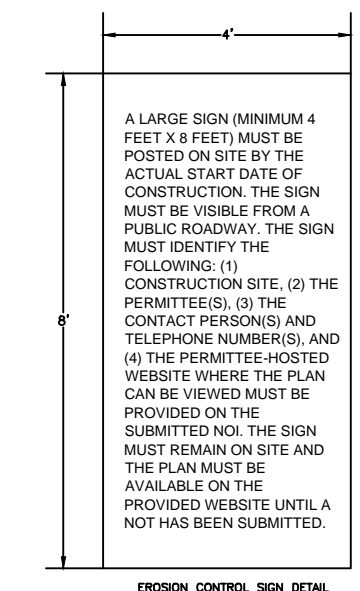
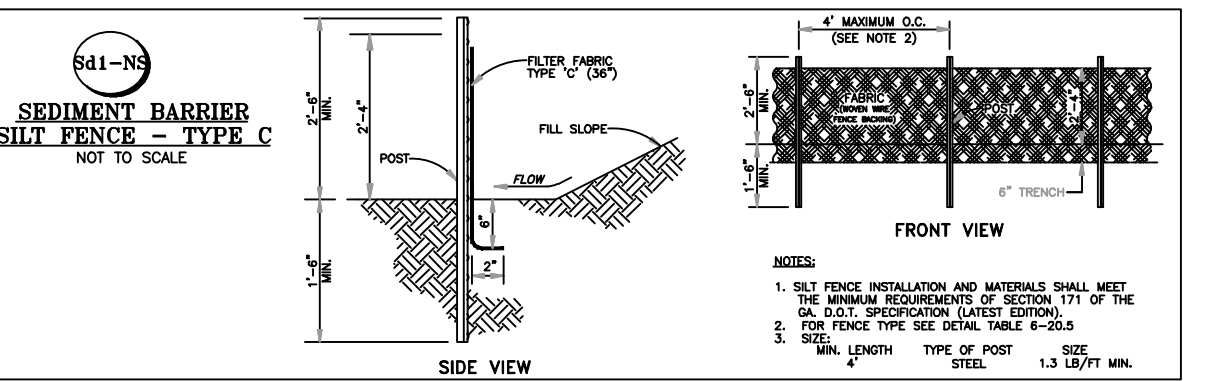
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Waters Supporting Warm Water Fisheries Table with columns: Surface Water Drainage Area, square miles, and various flow rate categories.

28) I FURTHER CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE DISTRICT DESCRIBED HEREIN BY MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.



- 1) POND, TRAP OR BASIN SIZE, LENGTH (TOP AND BOTTOM) WIDTH (TOP AND BOTTOM) AND DEPTH:
TOP L = 84' W = 114' BOTTOM L = 72' W = 90' DEPTH = 8'
- 2) TIME TO DRAIN (HRS) = 72 HRS
- 3) SKIMMER DIMENSIONS (ORIFICE AND HEAD SIZE) ORIFICE = 4" HEAD = 5"
- 4) MANUFACTURER'S NAME FAIRCLOTH



I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED. PROVIDES FOR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

I FURTHER CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HERE IN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

EROSION DETAILS FOR:
CHEROKEE 2

LOCATED IN LAND LOT(S): 592 DISTRICT - 15, SECTION - 2 CHEROKEE COUNTY, GEORGIA

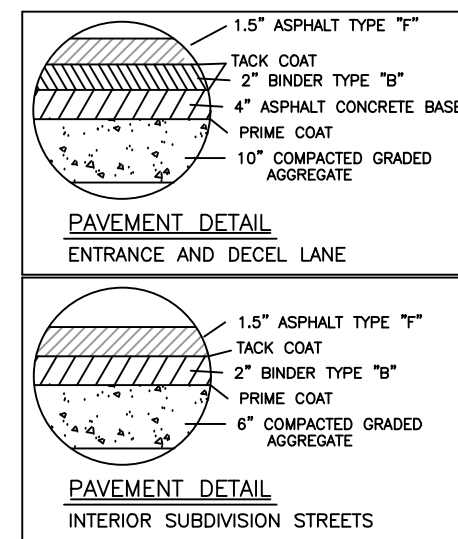
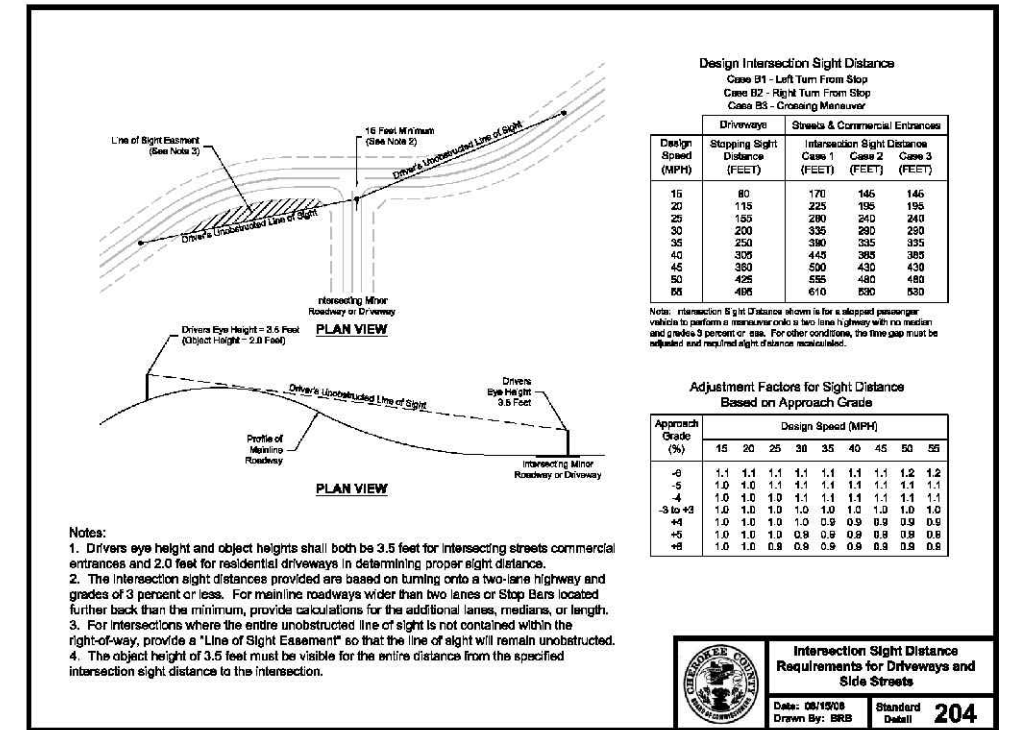
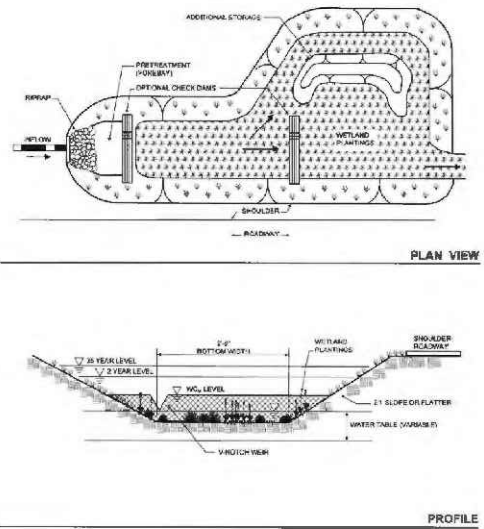
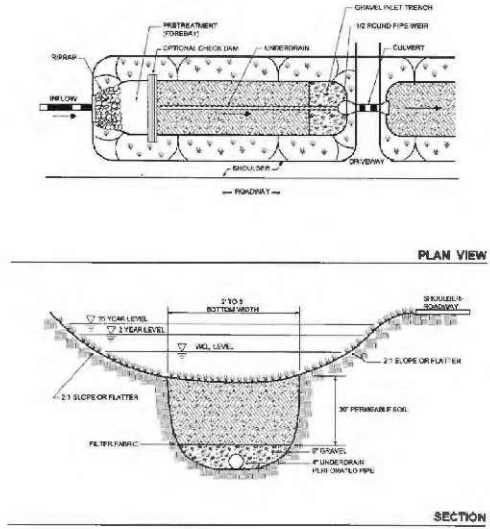
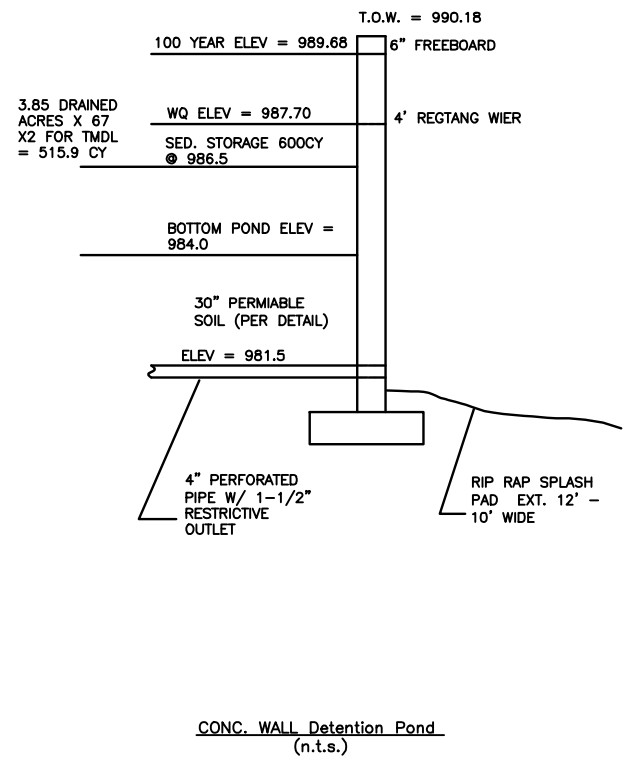
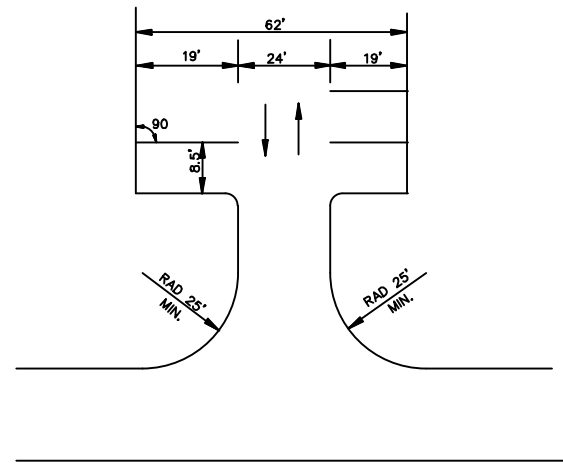
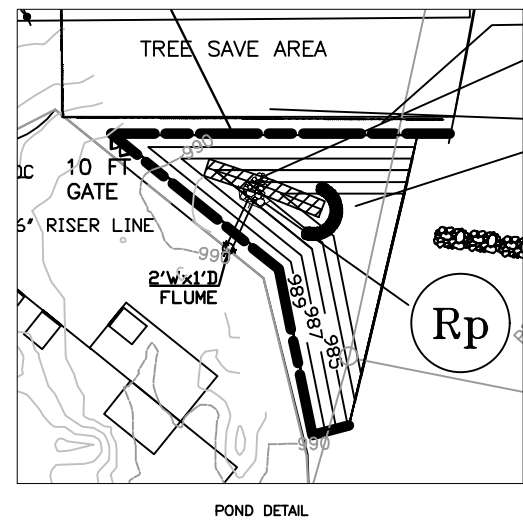
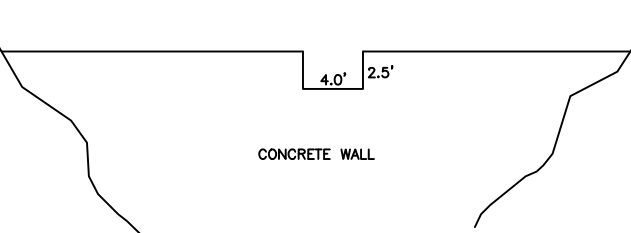
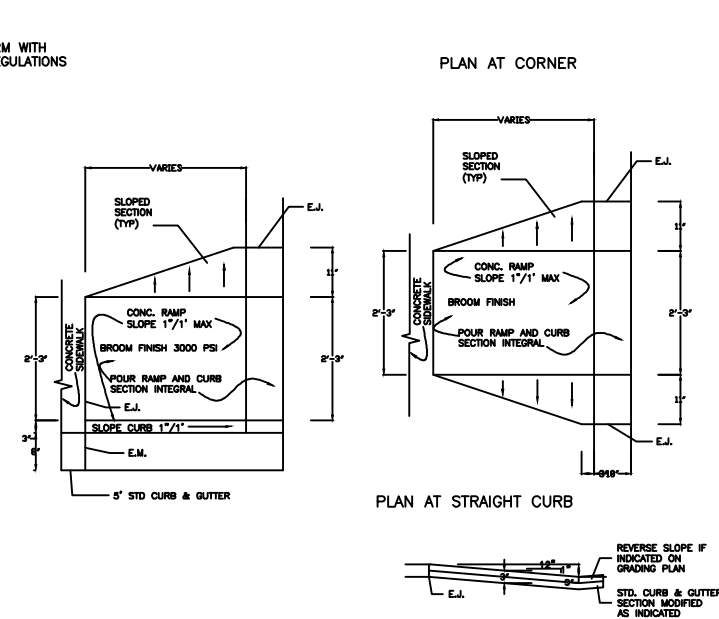
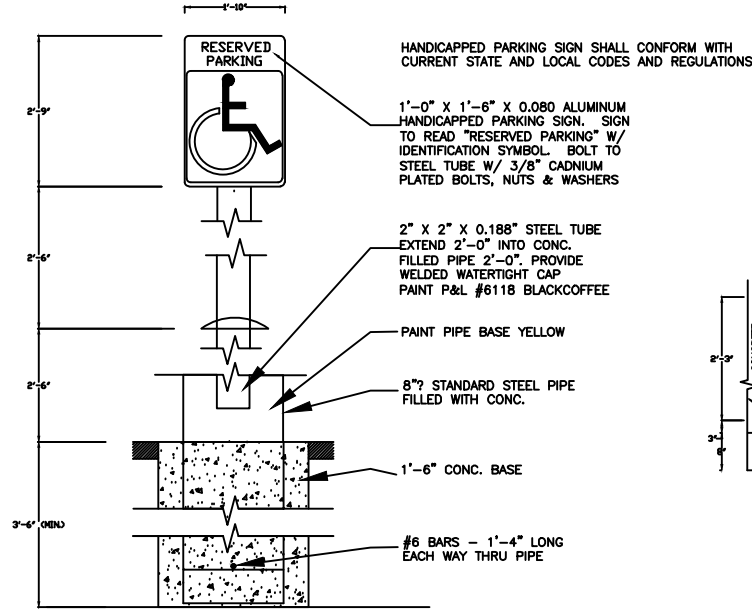
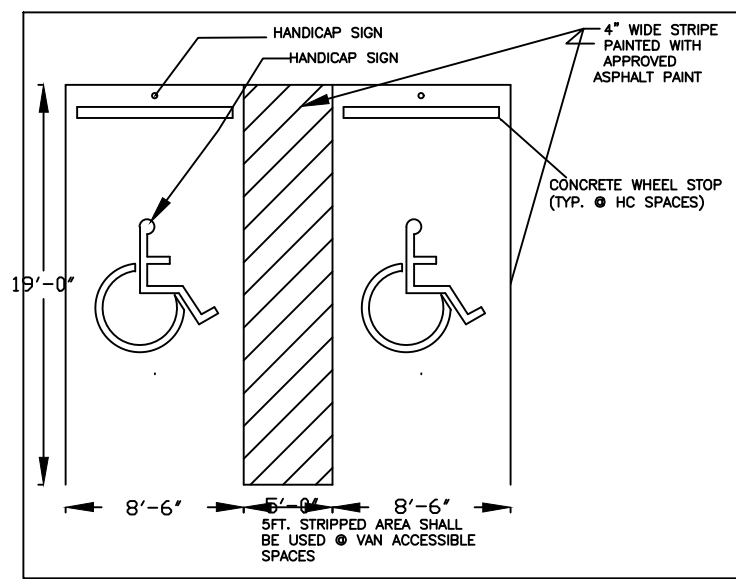
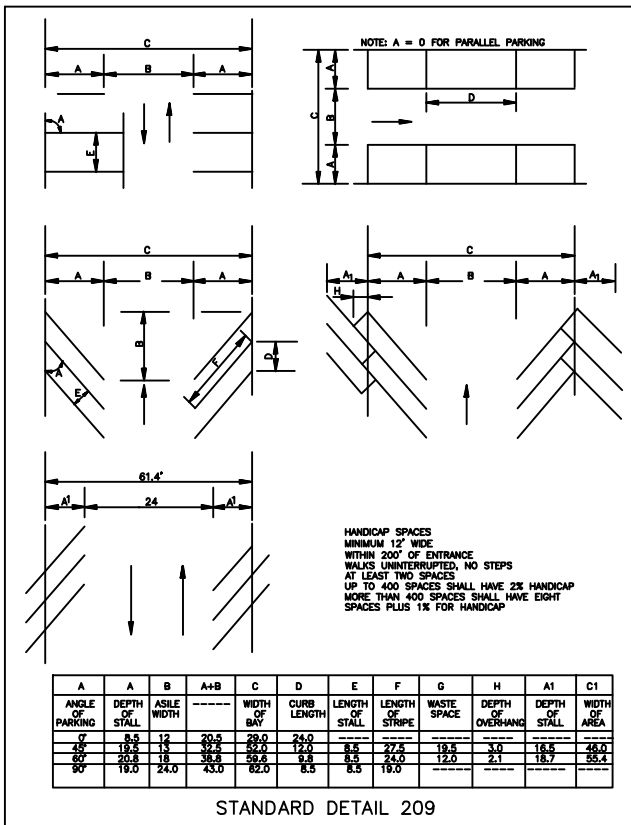
PLAN PREPARED: DEC. 27, 2019 SCALE: 1" = 20'

BY: WIKLE LAND SURVEYING, P.C. P.O. BOX 1164 CANTON, GEORGIA 30169 PHONE: (770) 479-8364

RON R. WIKLE JR. PLS 2578 CERTIFIED DESIGN PROFESSIONAL CERTIFICATION No.000000178 EXPIRES 07-14-2023

GEORGIA REGISTERED LAND SURVEYOR NO. R. WIKLE JR.

479-8364 SURVEYING AND MAPPING SOCIETY OF GEORGIA



CONSTRUCTION DETAILS FOR:
CHEROKEE 2

LOCATED IN LAND LOT(S): 592 DISTRICT - 15, SECTION - 2 CHEROKEE COUNTY, GEORGIA

PLAT PREPARED: DEC. 27, 2019 SCALE: 1" = 20'

BY: WIKLE LAND SURVEYING, P.C. P.O. BOX 1164 CANTON, GEORGIA 30169 PHONE: (770) 479-8364

479-8364 SURVEYING AND MAPPING SOCIETY OF GEORGIA

General Notes:

- Contractor shall have underground utilities located, legibly marked and is responsible for repairs, any and all damages which may occur as a result of landscape installation.
- All plants shall be inspected prior to installation.
- All plants are subject to the approval of the owner before, during and after installation.
- The Cherokee County Arborist must approve any alterations or revisions to the landscape sketch.
- The contractor shall protect existing features on site.
- All planting areas and unpaved areas on site, must be completely mulched as specified.
- The Landscape contractor shall verify all quantities.
- This Plan is not for use as a Detailed Landscaping Plan, rather an over all location including Tree Replacement and/or Tree Save Area along with areas reserved for Landscaping as needed for Land Disturbance Activities and Permitting.
- A minimum of three (3) species shall be planted (no single species can account for >33 % of replanted trees if >10 trees are planted (Section 25.21)

"ALL TREE PROTECTION MEASURES MUST BE INSTALLED PRIOR TO CLEARING."
 "NO TREES OR SHRUBS WILL BE INSTALLED IN THE RIGHT OF WAY ON PUBLIC ROADS OR IN THE ACCESS AND UTILITY EASEMENTS FOR PRIVATE STREETS."
 "CONTACT THE COUNTY ARBORIST FOR A SITE INSPECTION UPON COMPLETION OF LANDSCAPE INSTALLATION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY."

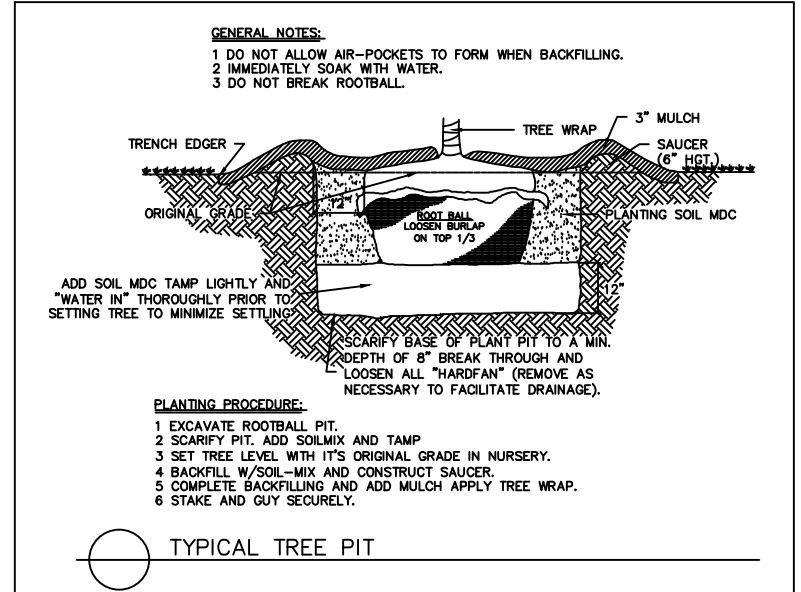


Table B
 Conversion of Replacement Tree Caliper to Density Factor Units

Caliper Size	Density Factor Units
1"	NOT TO BE USED
2"	0.4
3"	0.5
4"	0.7
5"	0.9
6"	1.0
7"	1.2
8"	1.3
9"	1.5
10"	1.7

The values in table B shall also be used to determine the quantity of replacement trees needed for any Specimen Tree recompense planting. This planting is additional to planting required for Site Density requirements

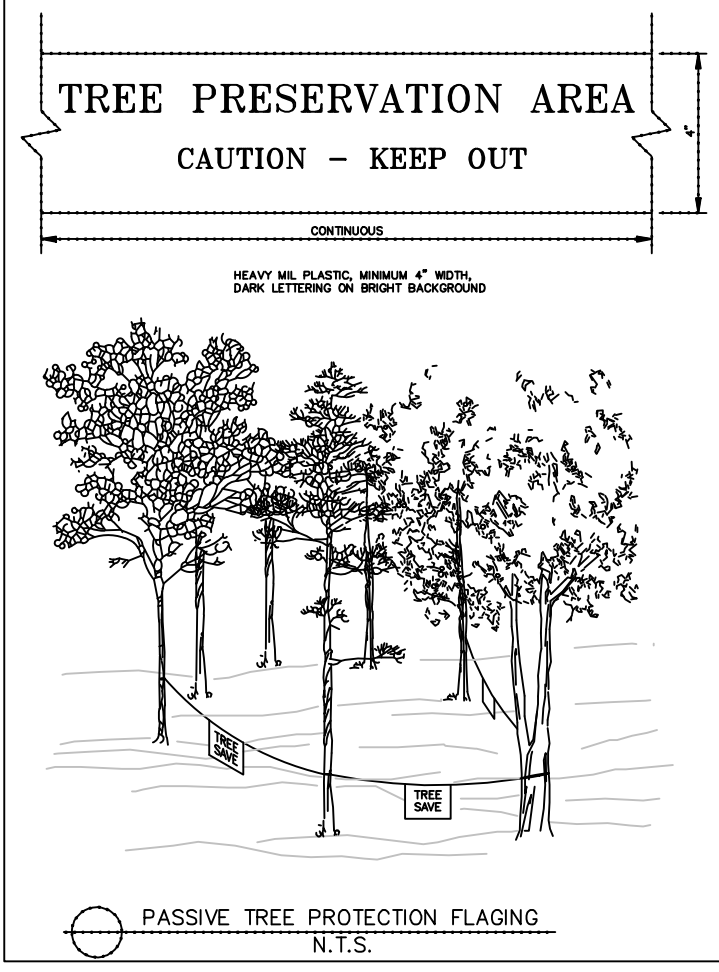
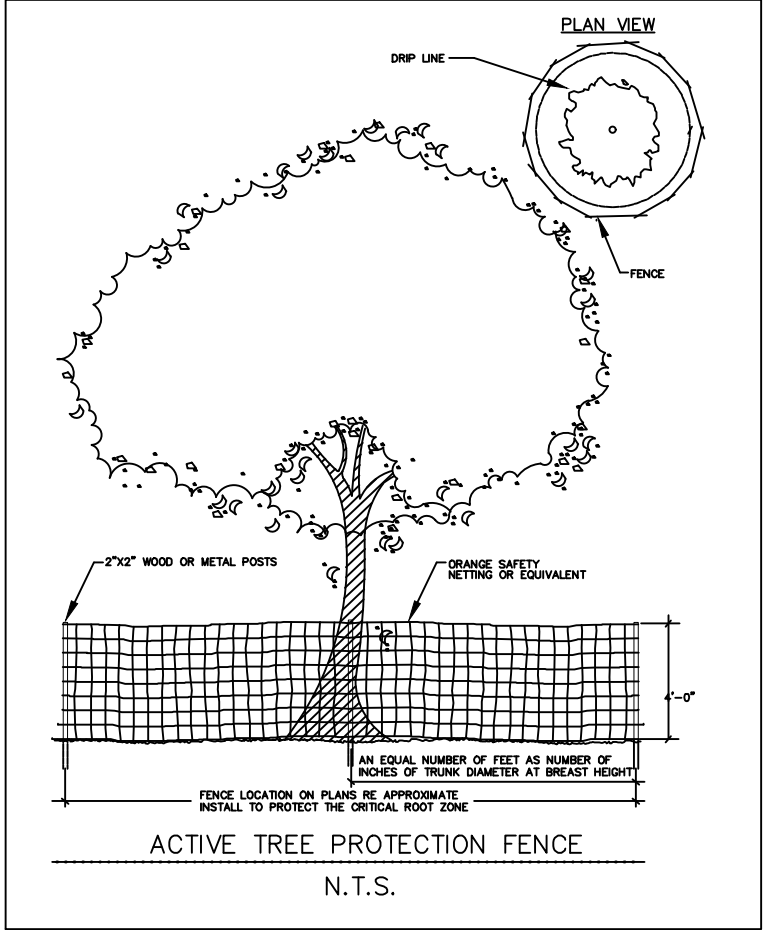
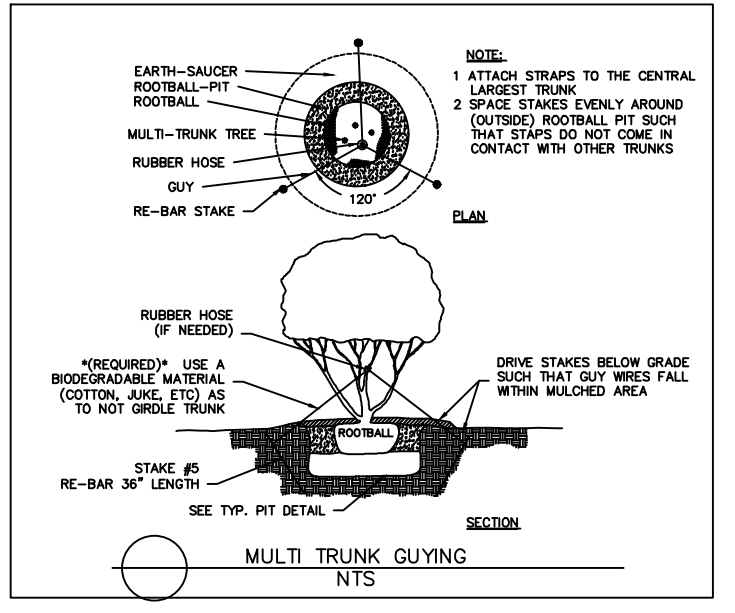
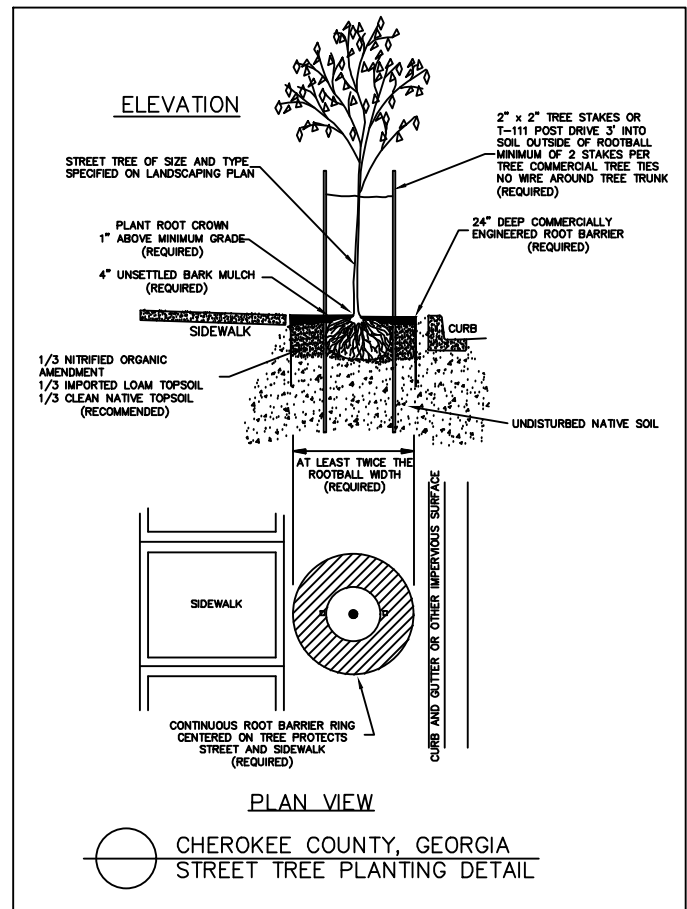
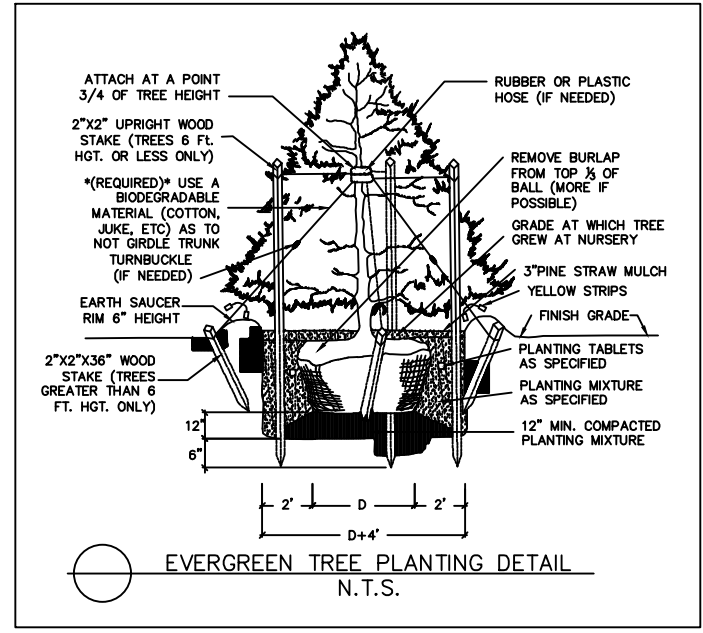
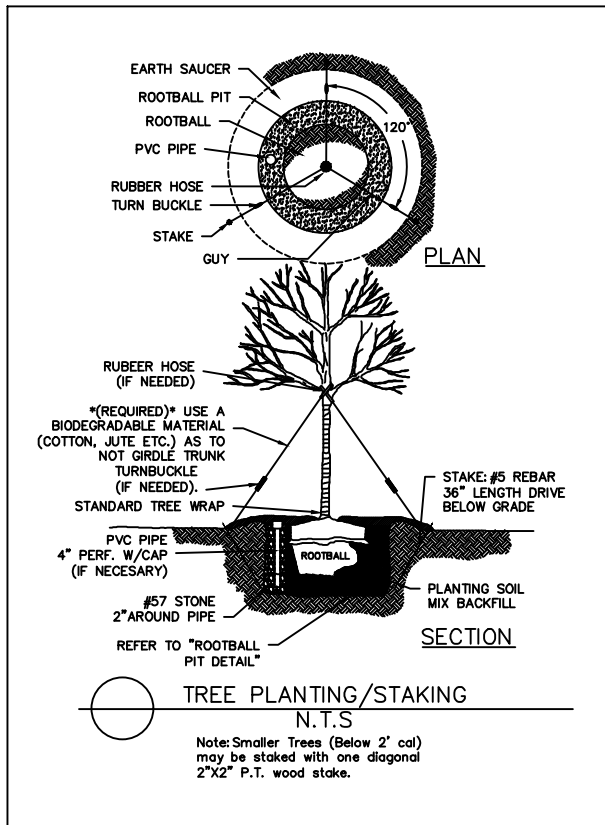
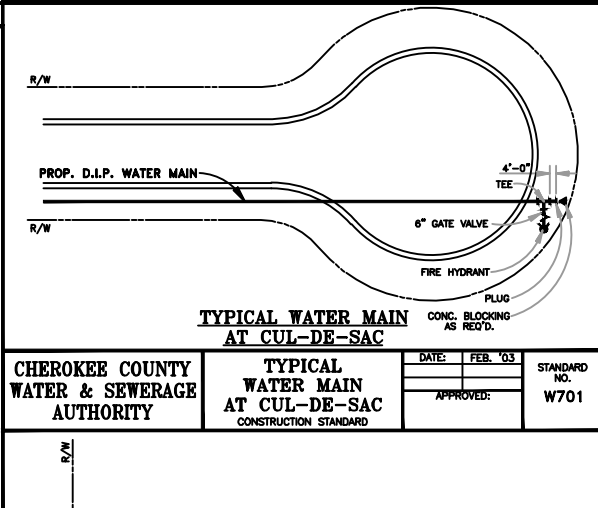
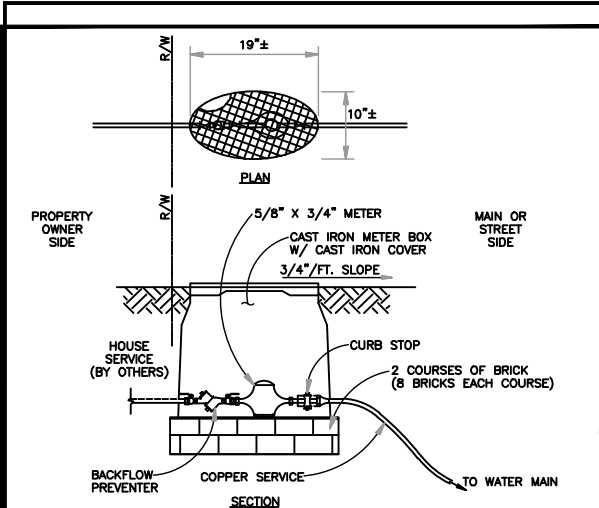


Table A
 Conversion of Existing Tree Diameters (DBH) to Density Factor Units

Size Class	Diameters	Unit Value
1	1-4"	NOT TO BE COUNTED
2	5-8"	0.3
3	9-12"	0.6
4	13-16"	1.2
5	17-20"	1.9
6	21-24"	2.8
7	25-28"	3.8
8	29-32"	5.1
9	33-36"	6.5
10	37-40"	8.1

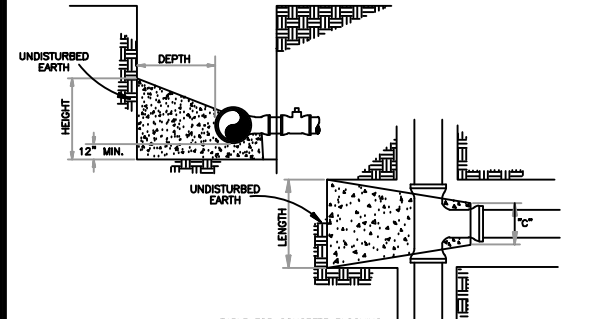


TREES ARE TO BE A MINIMUM OF 6' TALL AT THE TIME OF PLANTING



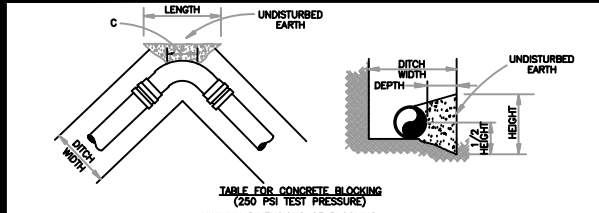
CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	TYPICAL WATER MAIN AT CUL-DE-SAC CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W701
APPROVED:			

CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	METER BOX FOR 5/8\"/>
DATE: FEB. '03	STANDARD NO. W705
APPROVED:	



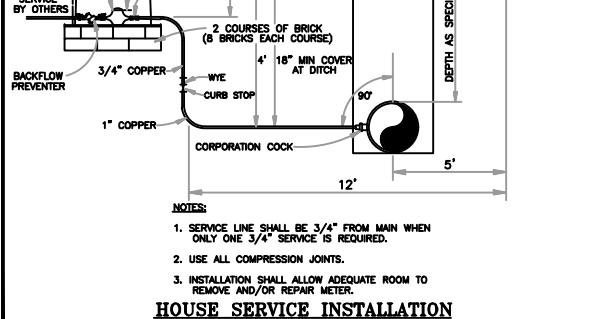
SIZE	DEPTH (FT.)	LENGTH (FT.)	MINIMUM DIMENSIONS OF BLOCKING (IN.)	VOLUME (C.Y.)	THRUST (LB.)
6"	1.0	2.5	12	0.10	7,070
8"	1.0	3.0	14	0.17	12,985
10"	2.0	4.0	18	0.50	19,835
12"	2.0	4.0	20	0.81	28,275
16"	3.0	5.0	28	1.77	50,265
20"	4.0	7.0	32	3.89	78,540
24"	5.0	9.0	40	7.84	113,100

CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	CONCRETE BLOCKING DETAIL CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W714
APPROVED:			

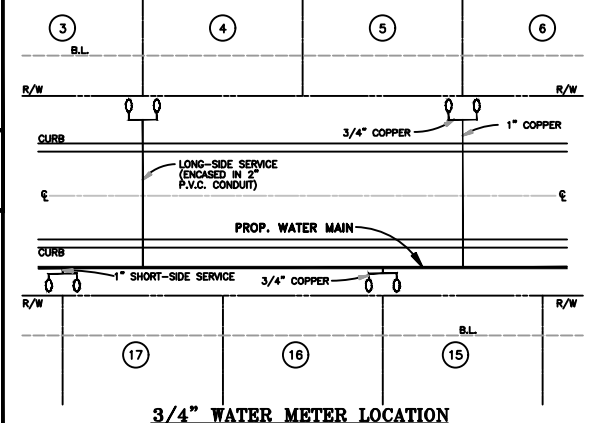


FITTING	SIZE	DEPTH (FT.)	LENGTH (FT.)	MINIMUM DIMENSIONS OF BLOCKING (IN.)	VOLUME (C.Y.)	THRUST (LB.)
11 1/4" BEND	6"	1.0	2.0	6	1.0	0.04
11 1/4" BEND	8"	1.0	2.0	7	1.0	0.07
11 1/4" BEND	10"	1.0	2.0	9	1.0	0.12
11 1/4" BEND	12"	2.0	2.5	11	1.5	0.26
11 1/4" BEND	16"	2.0	3.5	12	2.1	0.48
11 1/4" BEND	20"	2.0	4.0	15	3.0	0.70
22 1/2" BEND	6"	1.0	2.0	6	1.0	0.04
22 1/2" BEND	8"	1.0	2.0	7	1.5	0.08
22 1/2" BEND	10"	1.0	2.0	9	2.0	0.10
22 1/2" BEND	12"	2.0	3.0	11	3.0	0.18
22 1/2" BEND	16"	2.0	3.5	12	4.0	0.26
22 1/2" BEND	20"	2.0	4.0	15	5.0	0.45
22 1/2" BEND	24"	3.0	5.0	18	7.5	0.74
45" BEND	6"	1.0	2.0	6	1.5	0.06
45" BEND	8"	1.0	2.5	7	2.0	0.10
45" BEND	10"	2.0	3.5	9	3.0	0.18
45" BEND	12"	2.0	4.0	11	4.0	0.26
45" BEND	16"	3.0	5.0	12	5.0	0.45
45" BEND	20"	4.0	7.5	15	7.5	0.74
90" BEND	6"	1.0	2.5	12	2.0	0.13
90" BEND	8"	2.0	3.0	14	3.0	0.26
90" BEND	10"	2.5	4.5	18	4.5	0.45
90" BEND	12"	3.0	5.0	20	6.0	0.74
90" BEND	16"	4.0	6.5	28	8.5	1.29
90" BEND	20"	5.0	8.0	32	11.5	2.01
90" BEND	24"	6.0	10.0	40	15.0	2.91

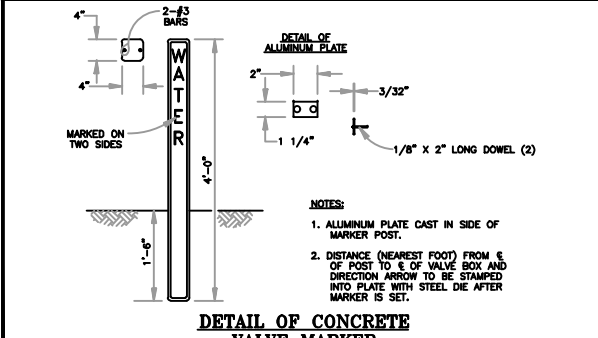
CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	CONCRETE BLOCKING DETAIL CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W713
APPROVED:			



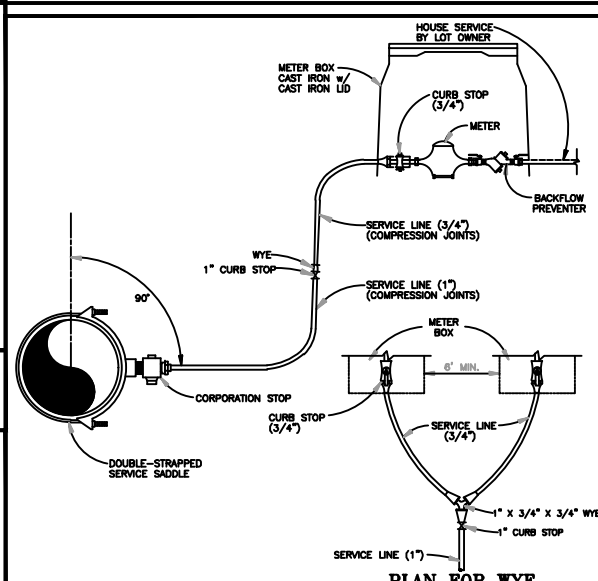
CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	HOUSE SERVICE INSTALLATION CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W707
APPROVED:			



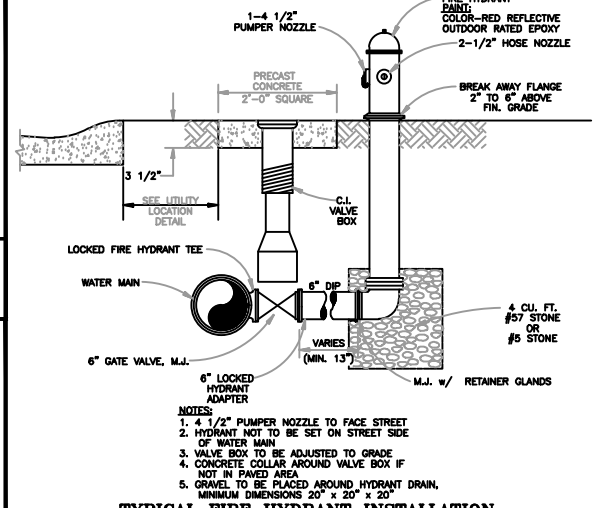
CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	3/4\"/>
DATE: FEB. '03	STANDARD NO. W703
APPROVED:	



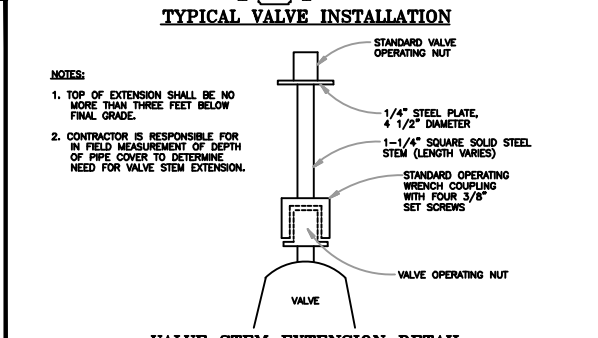
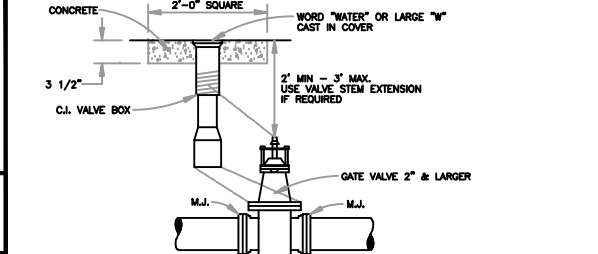
CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	CONCRETE VALVE MARKER CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W719
APPROVED:			



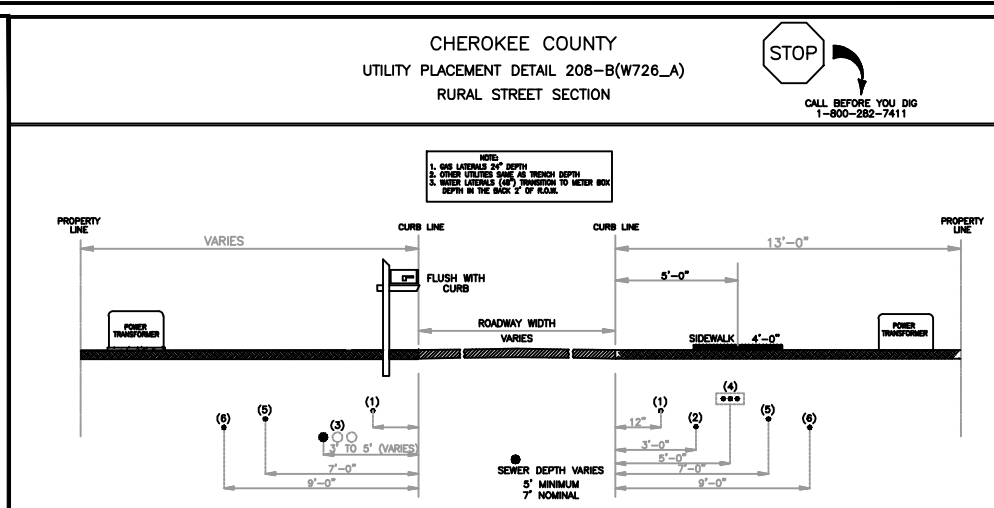
CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	RESIDENTIAL WATER METER INSTALLATION CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W704
APPROVED:			



CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	TYPICAL FIRE HYDRANT INSTALLATION CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W702
APPROVED:			



CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	TYPICAL VALVE INSTALLATION CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W718
APPROVED:			



CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	UTILITY PLACEMENT DETAIL 208-B(W726_A) RURAL STREET SECTION	DATE: FEB. '03	STANDARD NO. W706
APPROVED:			

WHEN TWO (2) CABLE COMPANIES OR TELEPHONE COMPANIES DECIDE TO PLACE COMPLETING SERVICES OR FACILITIES WITHIN THE SAME SUBDIVISION THEN ONE (1) COMPANY IS ENCOURAGED TO HAVE THEIR SERVICE ON ONE SIDE OF THE ROAD WHILE THE OTHER COMPANY MIGHT HAVE THEIR SERVICE IN THE OPPOSITE SIDE OF THE ROAD, OR EITHER THEY WOULD HAVE TO HAVE JOINT USE WITH THE POWER COMPANY OR TELEPHONE COMPANY, OR PLACE THEIR FACILITIES UNDER THE SIDEWALK. IF A UTILITY COMPANY OR COMPANIES DECIDE TO PLACE FACILITIES UNDER THE SIDEWALK, CONDUIT WILL BE REQUIRED FOR MAINTENANCE PURPOSES. FURTHER, THE UTILITY COMPANY IS RESPONSIBLE FOR DAMAGE TO THE SIDEWALK CAUSED DURING CONSTRUCTION AND/OR MAINTENANCE ACTIVITIES.

CHEROKEE COUNTY WATER AND SEWERAGE AUTHORITY	WATER SYSTEM CONSTRUCTION GENERAL NOTES
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- All water system construction must follow the current Cherokee County Water and Sewerage Authority Water Main Standards.
- All water mains shall be ductile iron pipe, except where the Construction Manager approves otherwise. Ductile iron pipe shall be thickness Class 50, designed in accordance with A.W.W.A. C150 and manufactured in accordance with AWWA C151. All ductile iron pipe shall have an outside bituminous coating per A.W.W.A. C151 and an inside standard cement lining with bituminous seal coat per A.W.W.A. C104. All references to A.W.W.A. standards shall mean latest revisions published.
- All line valves shall be marked by concrete valve markers.
- A concrete valve marker is to be placed directly above the plug on all dead-end water mains.
- Information regarding underground utilities on these plans is not guaranteed as to accuracy or completeness. Prior to beginning work, the Contractor shall request a field location through the utilities protection center and any utility owners thought to have facilities in the area. The Contractor shall promptly compare these field-marked locations with the project plans and then notify the Designer of any anticipated problems or need for contract changes. It is the Contractor's responsibility to excavate or cause the utility owner to excavate for the purpose of determining exact elevations or locations at utility crossings and other critical locations well in advance of the work under this contract. Damage to existing utilities resulting from the Contractor's negligence shall be repaired at the Contractor's expense.
- All service lines under pavement shall be encased in Schedule 40 P.V.C. casing with a minimum diameter of 2", extending a minimum of 3 feet beyond the pavement and/or sidewalk on each side of the road.
- Concrete blocking shall be placed at all bends, tees, valves, reducers and all other fittings. Prior to blocking, fittings shall be wrapped with polyethylene film.
- The developer shall obtain a construction permit from the C.C.W.S.A. and notify the Chief Inspector at least 4 days before beginning construction. The Contractor shall notify the Chief Inspector or his designated representative by 8:30 a.m. of each workday when work is scheduled unless authorized otherwise.
- Water mains shall be installed so that the top of the pipe is a minimum of four feet below final grade, four feet below the edge of the pavement, or four feet below the ditch paralleling the road, whichever is deepest. Contractor shall place a vertical piece of 2" P.V.C. pipe on top of the water main every 50' along the length of the main and at other locations as required by the Water Main Standards Section 507.
- All fittings and valves are to be mechanical joint with retainer glands unless otherwise approved. Retainer glands shall be EBAA Mega-Lug or approved equal.
- Type 4 bedding is required at all restrained pipe installations.
- Flow Test Information:
Static Pressure: _____ psi at _____ ft.
Recorded Flow: _____ GPM with _____ psi residual pressure.
Maximum Elevation in Development: _____ m.s.l. (to be determined by developer.)
Flow Available at Max. Elevation: _____ GPM with 20 psi residual pressure.
Size of water main at point of connection to project: _____ inches
Date of flow test: _____

CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	DETAIL W730
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CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	CONCRETE VALVE MARKER CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W719
APPROVED:			

CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY	CONCRETE VALVE MARKER CONSTRUCTION STANDARD	DATE: FEB. '03	STANDARD NO. W719
APPROVED:			

CHEROKEE COUNTY
UTILITY PLACEMENT DETAIL 208-B(W726_A)
RURAL STREET SECTION

STOP

CALL BEFORE YOU DIG
1-800-282-7411

NOTE:
1. ONE LATERAL OF DEPTH
2. OTHER UTILITIES SHOWN AT TRENCH DEPTH
3. OTHER LATERALS (LID) THROUGH TO METER BOX
DEPTH IN THE BACK 2' OF R.O.W.

CHEROKEE COUNTY WATER & SEWERAGE AUTHORITY

Detail W727
Cherokee County Water & Sewerage Authority
P.O. Box 5000 Canton, Georgia 30114
Phone: (770) 479-1813 Fax: (770) 704-0053

New Project Requirement Detail (2004)

This is a list of some of the requirements that need to be met before obtaining water and/or sewer service in Cherokee County.

- A pre-construction meeting with water and/or sewer contractor and C.C.W.S.A. inspector before work begins. (770) 479-9107
- Contractor must have approved plans stamped by C.C.W.S.A. before water or sewer work begins.
- There are certain fees, depending on type of project, which must be paid to C.C.W.S.A. before getting service. Some of which are:
Water Flow Test \$300.00
Plan Review Fees:
Water \$250.00
Sewer \$500.00
Lift Station \$5000.00
(FEES ARE SUBJECT TO CHANGE)

Water Meter Deposit (Depends on size of meter and/or number of units.)
Back-Flow Device (Depends on size and type), when testable device is required we also must have test result by approved tester before setting meter. Contact: Greg Long (770) 479-9107 ext. 228
Sewer Tap Fee (depends on size and type) Contact: Ricky Dobbs (770) 479-1813 ext 249

- If meter is larger than 2" meter must have a by-pass. (All fees paid before tapping)
- Must submit six sets of Plans & Electronic Data (On State Plane Coordinates) to Rose Creek Plant for all proposed projects. Contact: Jeff Hooper or Corey Ghorley (770) 931-7156

If the proposed project will serve, or has the potential to serve a business that is required to have a grease trap or dumpster pad, plans for the same will be submitted to C.C.W.S.A. Inspection Department: Marty Rodgers (770) 479-9107 ext. 223

- Any and all final tests on water and sewer, and all fees paid, before final plat can be signed or release of meters.
- Three sets of each water & sewer as-built drawings for our records.
- Once job is released, owner/developer will be responsible for one year warranty period.
- Must be two separate signature places on final plat for C.C.W.S.A. to sign off.
- Project will not be released for meter sales until C.C.W.S.A. Inspection Department has received two copies of recorded final plat.
- At end of one year re-inspection will be done.
- If water has to be cut off, work needs to be scheduled 4 to 5 days ahead of time. Phone: (770) 479-9107
- CANNOT ENCROACH ON ANY BUFFERS, OWNER/DEVELOPER & ENGINEER WILL BE RESPONSIBLE FOR OBTAINING VARIANCES. (Must have in writing when variance was obtained)

Date _____

All sanitary sewer manholes in streets shall be required to be @ 95% compaction under the first foot of top grade. Compaction tests shall be at all 4' lifts on 2 sides of each manhole within a 2' diameter of the manhole. Test results shall be faxed to C.C.W.S.A. Inspection Department before any G.A.B. shall be placed on sub-grade.
C.C.W.S.A. Fax: (770) 704-0053
(This applies to county projects only. Not projects within city limits)

REVISIONS	
DATE	COMMENTS

Water Details

CHEROKEE 2

LOCATED IN LAND LOTS: 115
DISTRICT - 15th SECTION - 2nd
CHEROKEE COUNTY, GEORGIA
City of Holly Springs

Detail 21

SHEET 13 OF 23 SHEETS

FIELD BOOK 52, PAGE 41, FILE R 1061.

LEGEND:

- 1) I.P.S. - IRON PIN SET (#5 R.)
- 2) I.P.F. - IRON PIN FOUND
- 3) L.L.L. - LAND LOT LINE
- 4) R/W - RIGHT OF WAY
- 5) P - PROPERTY LINE
- 6) C - CENTER LINE
- 7) R - REINFORCING BAR
- 8) P.P. - POWER &(OR) PHONE POLE
- 9) N./F. - NOW OR FORMERLY
- 10) --- - FENCE (APPROX. LOC.)
- 11) --- - OVERHEAD UTILITY LINE
- 12) B.L. - BUILDING LINE
- 13) D.E. - DRAINAGE EASEMENT
- 14) S.S.E. - SANITARY SEWER EASEMENT
- 15) P.A.M.E. - POND ACCESS & MANAGEMENT EASEMENT
- 16) --- - TREE SAVE FENCE

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 100,000+ FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000+ FEET.

EQUIPMENT USED FOR MEASUREMENTS:
TOPCON GTS - 303, TOTAL STATION

NOTES:

- 1) THIS PLAT IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY PRIVATE AND PUBLIC.
- 2) UNDERGROUND UTILITIES AND/OR STRUCTURES, IF ANY, MAY NOT BE SHOWN.
- 3) THE RIGHT-OF-WAY ON EAST ROPE MILL ROAD IS 5 FEET FROM THE EDGE OF ROAD, PER CHEROKEE COUNTY ROAD DEPARTMENT.
- 4) REFERENCE PLAT OF A PORTION OF RIGHT-OF-WAY AND TRACT MAP FOR: LOUISVILLE-NASHVILLE RAILROAD COMPANY ATLANTA DIVISION, "OLD LINE V46- SHEET 40."
- 5) REFERENCE: PLAT OF VOYLES ESTATE BY: A.W. ROBINSON, SURVEYOR, DATED: JAN. 5, 1968.
- 6) REFERENCE: PLAT OF LOT #4 VOYLES SUBDIVISION, BY A.W. ROBINSON SURVEYOR, DATED: OCT. 28, 1967, P.B. 4, PAGE 169.
- 7) BENCHMARK ELEVATION WAS TRANSFER FROM B.V. MON. 028-18, DATED: JUNE 28, 1969, ELEVATION 1013.49 ROAD HAS BEEN ALTERED AND IS NO 8) LONGER CENTERED WITHIN R/W, R/W SHOWN IS PER REFERENCE MATERIAL.
- 9) REFERENCE PLAT OF A BOUNDARY SURVEY FOR GLEN NEDZA BY ADAMS-SIMS & ASSOC., INC. DATED SEPT. 8, 1999.
- 10)

EROSION CONTROL NOTES:

- 1) TOTAL DISTURBED AREA = 3.82 ACRE
- 2) TOTAL DRAINED AREA = 3.82 ACRES
- 3) REQUIRED SEDIMENT STORAGE FOR THIS SITE IS 511.9 C.Y.
- 4) SUPPLIED STORAGE = 771 L.F. Sd1 x 0.1675 = 129.1 CY + Sd3 72' x 90' 2.5' = 600 CY TOTAL = 729.1 CY
- 5) GRASSING AND NATURAL VEGETATION WILL BE USED FOR WATER QUALITY ON THIS PROJECT.
- 6) PRE-DEVELOPED CN: 77 POST-DEVELOPED CN: 98
- 7) TOONIGH CREEK IS AN IMPAIRED STREAM FOR "BIO F" FOUR ITEMS FROM APPENDIX "A" TO MITIGATE ARE ITEMS B,D,E & N.
- 8) AS INDICATED IN NOTE 6 THE USE OF FLOCCULANTS AND COAGULANTS SHALL BE IMPLEMENTED AS AN ADDITIONAL EROSION CONTROL MEASURE.

NO BUFFER ENCROACHMENTS ARE PLANNED FOR THIS PROJECT. THIS PROJECT IS EXEMPT FROM THE VARIANCE REQUIREMENT. NO ENCROACHMENTS ARE PLANNED, THEREFORE NO VARIANCE IS REQUIRED.

NO WETLANDS WERE OBSERVED.

EROSION CONTROL MEASURES FOR THIS PROJECT WILL INCLUDED INITIAL SEDIMENT STORAGE, PERIMETER CONTROL BMP'S, INTERMEDIATE DRAINAGE BMP'S, AND FINAL STABILIZATION BMP'S. AND UPON FINAL STABILIZATION, ALL EROSION CONTROL BMP'S SHALL BE REMOVED.

NO STATE WATERS WITHIN 200' OF DISTURBED AREA ARE SHOWN.

For building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site, provide cover (e.g. plastic sheeting, temporary roofs) to minimize the exposure of these products to precipitation and to stormwater, or a similarly effective means designed to minimize the discharge of pollutants from these areas. Minimization of exposure is not required in cases where exposure to precipitation and to stormwater will not result in a discharge of pollutants, or where exposure of a specific material or product poses little risk to stormwater contamination (such as final products and materials intended for outdoor use).

TRAVERSE TABLE		
COURSE	BEARING	DISTANCE
1	N 21°20'55"E	15.74'
2	N 25°30'10"E	41.45'
3	N 24°22'05"E	52.97'
4	N 23°48'00"E	55.47'
5	N 29°11'45"E	119.42'
6	N 29°56'35"E	55.12'
7	N 27°53'50"E	48.12'
8	N 33°30'30"E	49.73'
9	N 40°00'20"E	38.73'
10	N 44°55'20"E	61.18'
11	N 42°26'35"E	53.43'
12	N 40°49'55"E	69.65'

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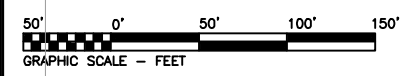
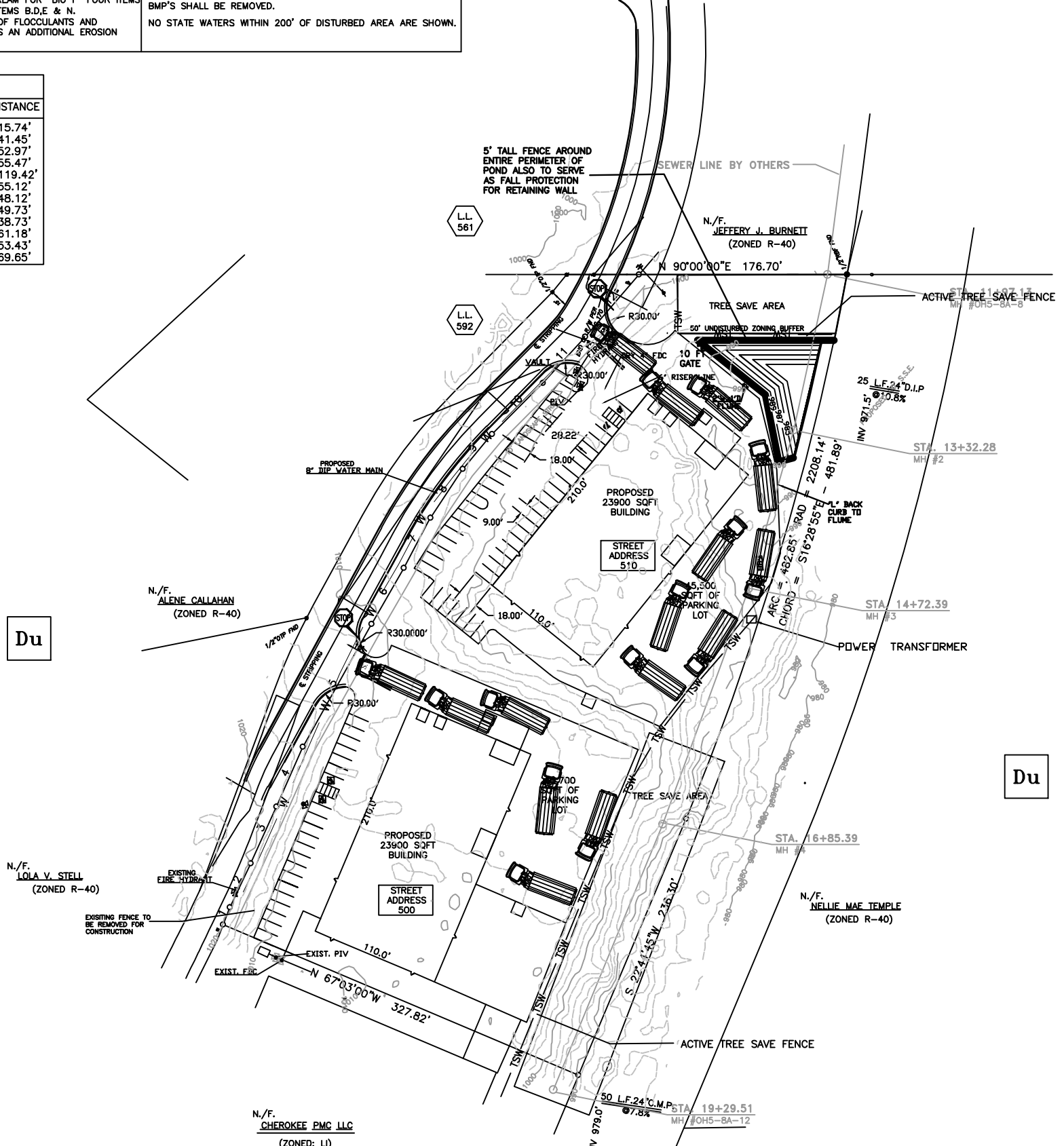
N./F. ALENE CALLAHAN (ZONED R-40)

N./F. LOLA V. STELL (ZONED R-40)

N./F. CHEROKEE PMC LLC (ZONED: LI)

N./F. NELLIE MAE TEMPLE (ZONED R-40)

N./F. W.B. ANDERSON



BENCH MARK
ELEV. 1019.97'
TOP OF I.P.F.
(AXLE)

AREA = 4.39 ACRES

"ALL MATTERS OF TITLE ARE EXCEPTED"



TRUCK MANEUVERING PLAN FOR:
CHEROKEE 2

LOCATED IN LAND LOT(S): 592
DISTRICT - 15, SECTION - 2
CHEROKEE COUNTY, GEORGIA

PREPARED: DEC. 27, 2019
SCALE: 1" = 50'

BY: WIKLE LAND SURVEYING, P.C.
P.O. BOX 1164
CANTON, GEORGIA 30114
PHONE: (770) 479-8364



5' TALL FENCE AROUND
ENTIRE PERIMETER OF
POND ALSO TO SERVE
AS FALL PROTECTION
FOR RETAINING WALL

L.L.
561

L.L.
592

N./F.
JEFFERY J. BURNETT
(ZONED R-40)

N 90°00'00"E 176.70'

TREE SAVE AREA

ACTIVE TREE SAVE FENCE

50' UNDISTURBED ZONING BUFFER

10 FT GATE

6" RISER LINE

2" Wx1" D FLUME

25 L.F. 24" D.I.P
@ 10.8%

SAMPLING LOCATION

ARC = 482.85' RAD = 2208.14'
CHORD = 516°28'55"E - 481.89'

L' BACK CURB TO FLUME

PROPOSED 8" DIP WATER MAIN

PROPOSED 23900 SQFT BUILDING

STREET ADDRESS 510

45,500 SQFT OF PARKING LOT

N./F.
ALENE CALLAHAN
(ZONED R-40)

1/2" O.P. FND

R30.0000'

110.0'

35,700 SQFT OF PARKING LOT

TREE SAVE AREA

PROPOSED 23900 SQFT BUILDING

STREET ADDRESS 500

N./F.
LOLA V. STELL
(ZONED R-40)

EXISTING FIRE HYDRANT

EXISTING FENCE TO BE REMOVED FOR CONSTRUCTION

EXIST. FDC

EXIST. PIV

N 67°05'00"W 327.82'

S 22°44'45"W 236.30'

N./F.
NELLIE MAE TEMPLE
(ZONED R-40)

ACTIVE TREE SAVE FENCE

PROPOSED ROADWAY DESIGN FOR EAST ROPE MILL ROAD WAS TAKEN FROM SUPPLIED PLANS BY OTHERS

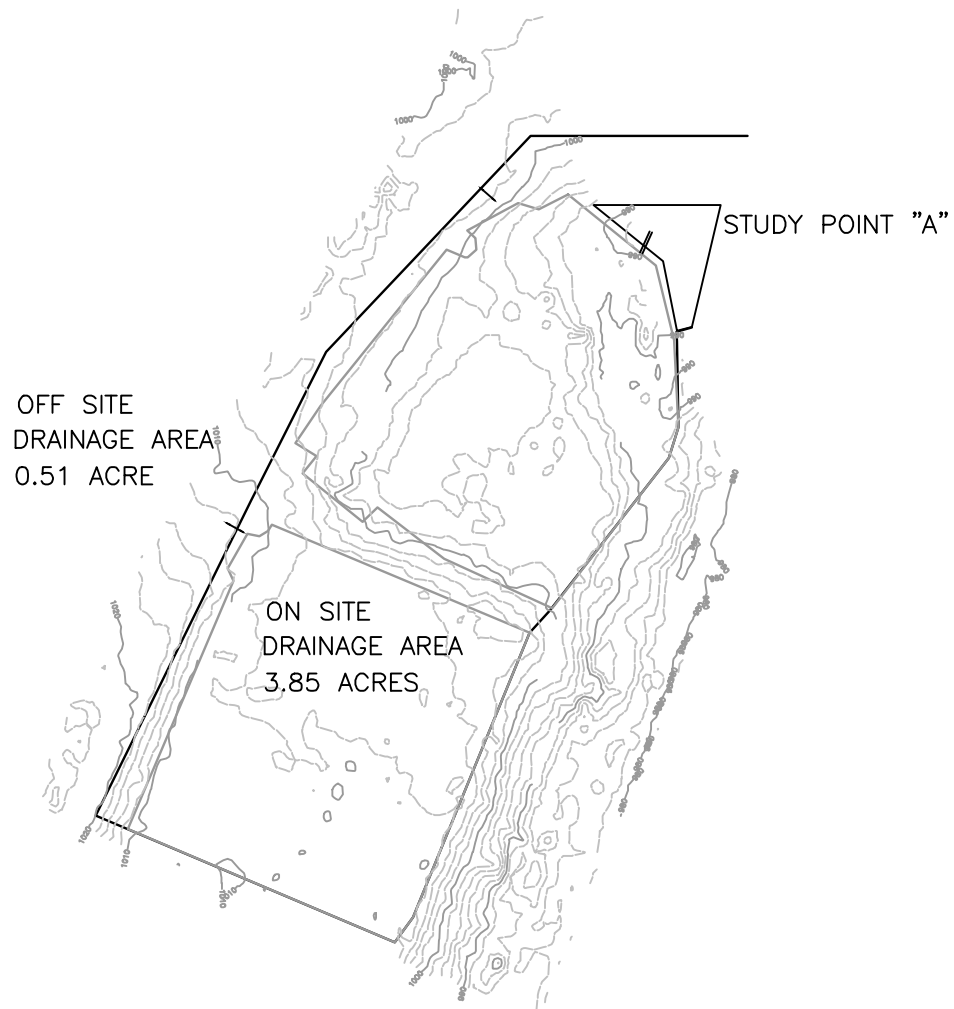
ROAD PLANS FOR:

CHEROKEE 2

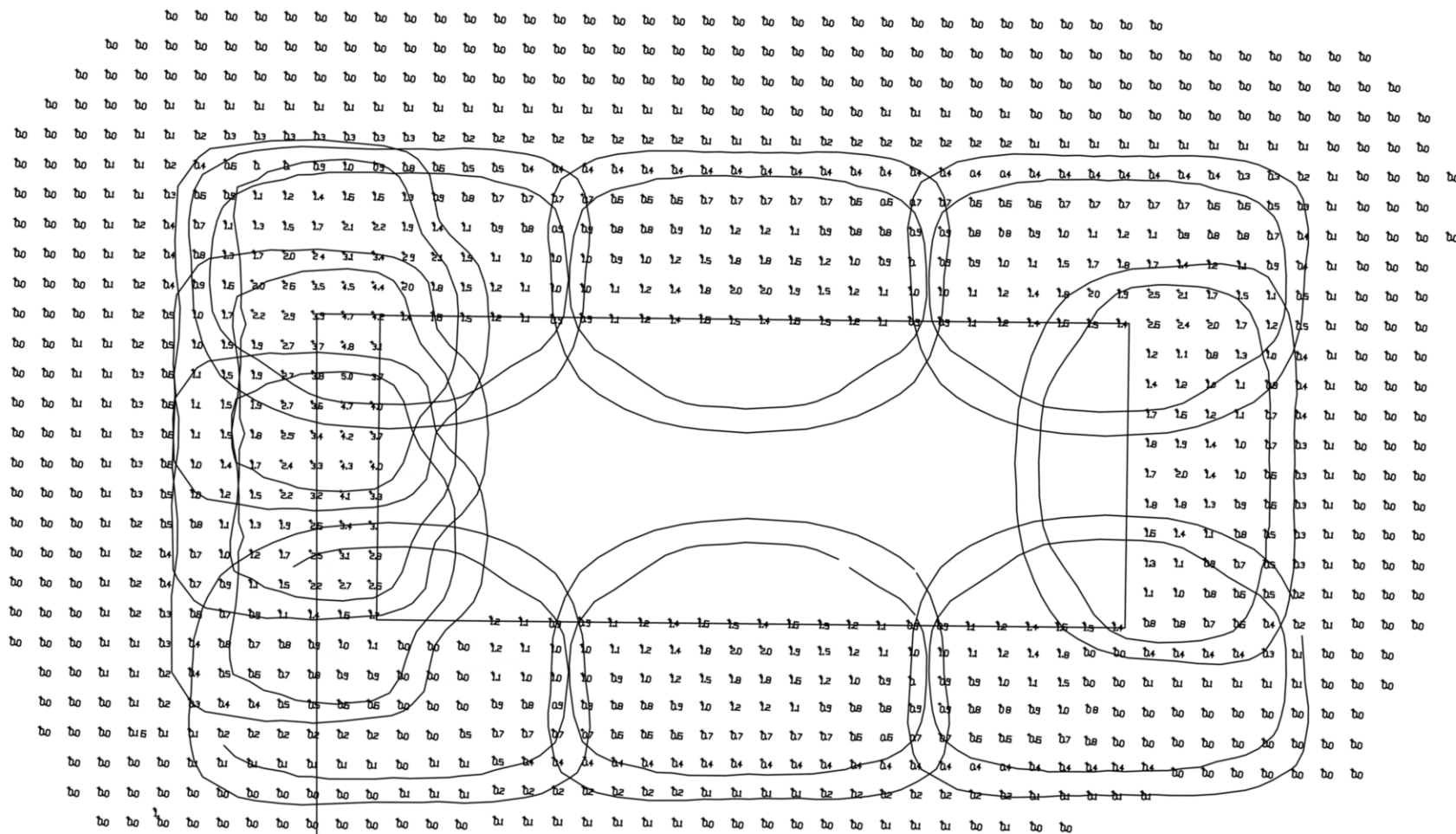
LOCATED IN LAND LOTS: 115
DISTRICT - 15th SECTION - 2nd
CHEROKEE COUNTY, GEORGIA

Detail 22

SHEET 15 OF 23 SHEETS



DRAINAGE BASIN MAP



1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES, REGULATIONS AND THE CURRENT CABO INTERNATIONAL BUILDING CODE WITH ALL ADOPTED EDITIONS.

2. CONTRACTOR AND/OR SUB-TRADES SHALL PRIOR TO ANY SITE DISTURBANCE, VERIFY ALL SITE AND SOIL CONDITIONS AND REPORT AND DOCUMENT THE EXISTING CONDITIONS TO THE OWNER AND OR HIS/HER REPRESENTATIVES.

3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE GENERAL CONTRACTOR AND OR SUB-TRADES SHALL REPORT ANY PLAN OR DOCUMENT DISCREPANCIES TO SOUTHERN DESIGN CONCEPTS OF ATLANTA DAVID C. MOGEE (SEE TITLE BLOCK), THE GENERAL CONTRACTOR, HIS/HER SUB-TRADES AND REPRESENTATIVES FOR DISCREPANCIES NOT REPORTED IN WRITING TO AND FOR CLARIFICATION FROM SOUTHERN DESIGN CONCEPTS OF ATLANTA.

4. ALL DRAWINGS AND DOCUMENT DIMENSIONAL NOTES, DETAILS, SECTIONS, ETC. SHALL BE REVIEWED, CALCULATED AND VERIFIED BY THE GENERAL CONTRACTOR, HIS/HER SUB-TRADES AND REPRESENTATIVES PRIOR TO COMMENCEMENT OF CONSTRUCTION OR HIS/HER WILL ASSUME ALL RESPONSIBILITIES FOR DISCREPANCIES NOT REPORTED IN WRITING TO AND FOR CLARIFICATION TO SOUTHERN DESIGN CONCEPTS OF ATLANTA.

5. ALL DRAWINGS, DETAILS, SECTIONS, ETC. SHALL NEVER BE SCALED.

6. STRUCTURAL FOOTINGS SHOULD ALWAYS BE BELOW THE REQUIRED LOCAL PLOT LINE AND MUST REST ON UNDISTURBED OR ENGINEERED FILL VERIFIED BY A LICENSED ENGINEER. A LICENSED SOIL OR STRUCTURAL ENGINEER SHALL BE CONSULTED PRIOR TO COMMENCEMENT OF CONSTRUCTION TO VERIFY PROPOSED FOOTING SIZES, DEPTHS AND REBAR REQUIREMENTS BASED UPON THE PROJECT'S CONDITIONS AND LOCAL CODES.

7. ALL FOUNDATIONS AND FOOTINGS SHALL BE REINFORCED PER LOCAL CODES AND VERIFIED BY A LICENSED ENGINEER PRIOR TO CONSTRUCTION.

8. ALL FOUNDATIONS, WALLS, FOOTINGS, GRADE BEAMS, FLOOR AND ROOF STRUCTURAL MEMBERS SHALL BE DESIGNED AND SIZED BASED UPON LOCAL CODES BY A LICENSED ENGINEER.

9. TO INSURE A SAFE AND WELL CONSTRUCTED STRUCTURE AND OR DWELLING THE GENERAL CONTRACTOR, HIS/HER SUB-TRADES AND REPRESENTATIVES SHALL VERIFY AND PROVIDE ADJUSTMENTS TO ANY PROPOSED STRUCTURAL MEMBERS OR MATERIALS TO MEET ALL LOCAL AND OR NATIONAL CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

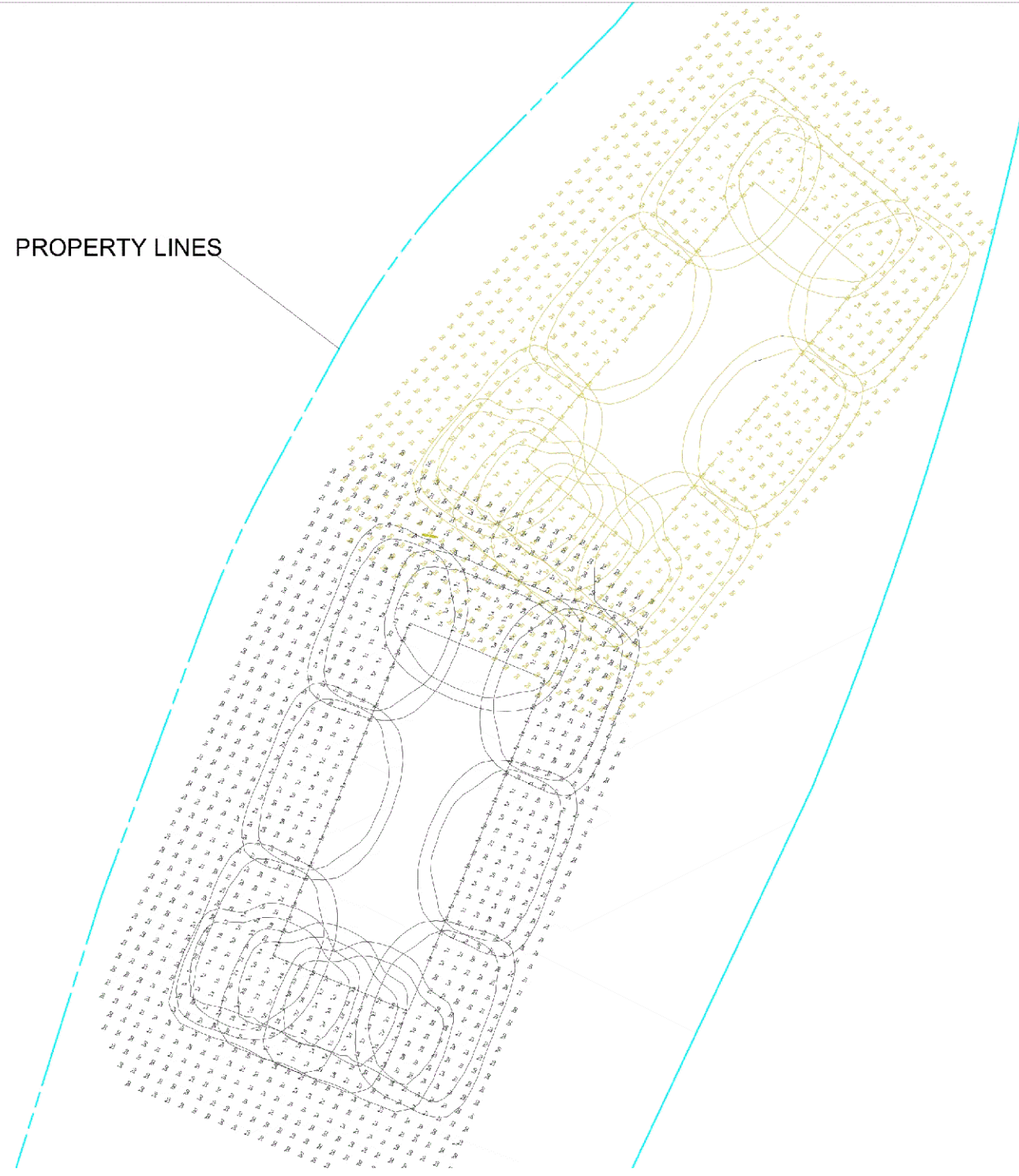
10. ALL CONCRETE, STEEL, WOOD AND OR COMPOSITE MATERIALS SHALL MEET ALL LOCAL/NATIONAL CODES.

11. ALL STRUCTURAL MEMBERS SUCH AS CONCRETE, STEEL, WOOD AND OR COMPOSITE MATERIALS USED AS FOR COLUMNS, BEAMS AND FRAMING SHALL BE DESIGNED TO CARRY/TRANSFER ALL REQUIRED BEARER LOADS THROUGH THE ENTIRE STRUCTURE AND SHALL TERMINATE THOSE LOADS TO THE STRUCTURAL FOUNDATION/FOOTINGS ON UNDISTURBED SOIL OR ENGINEERED FILL.

12. ALL FLOOR AND ROOF MEMBERS SHOWN ON THIS DRAWING/DOCUMENTS SHALL BE ASSUMED TO BE A PRE-ENGINEERED FILL.

13. ALL WOOD FRAMING MEMBERS USED SHALL BE APPROVED FOR USE BY LOCAL/NATIONAL BUILDING CODES.

PROPERTY LINES



PROJECT- GLEN NEDZA - CHEROKEE COUNTY, GA	
SPECIFIER: JIM SARVER	
AGENT: STEPHANIE RONDEAU- EGI ASSOCIATES	
CALCULATIONS BY BENJAMIN PEIRICK- PHILLIPS LIGHTING	
DATE: MARCH 25, 2021	
SCALE: 1 : 1	
LUMEN VALUES ARE BASED ON TESTS PERFORMED IN COMPLIANCE WITH IESNA LM-79	
PT. X VALUES SHOWN ARE HORIZONTAL ILLUMINANCE AT GRADE (SINGLE-PLANE, IN FOOTCANDLES)	
THE 0.85 LLF IS BASED ON THE MEAN LUMENS OF THE L70 OR 70% DEPRECIATION OF INTIAL OUTPUT.	
FIELD PERFORMANCE WILL DEPEND ON AMBIENT TEMPERATURE, ELECTRICAL AND SITE CHARACTERISTICS	
LUMINAIRE HEIGHT SHOWN IS APPROXIMATE OVERALLMOUNTING HEIGHT ABOVE FINISHED GRADE. (U.N.O.)	

STATISTICAL AREA SUMMARY							
PROJECT: GLEN NEDZA - CHEROKEE							
LABEL	MIN	AVG	MAX	AVG/MIN	MAX/MIN	# PTS	UNITS
PARKING AREA	0.4000	0.5400	5	3.8500	12.5000	297	FC

LUMINAIRE SCHEDULE							
PROJECT: GLEN NEDZA - CHEROKEE COUNTY							
SYMBOL	QTY	LABEL	DESCRIPTION	ARRANGMENT	LUM. LEMENS	LLF	FILE NAME
A	4	W3	GARDCO 161-3-150LA-6470-NW	SINGLE	12466	0.8500	161-3-150LA-6470-NW.IES
B	3	W3	GARDCO 161-3-150LA-6470-NW	SINGLE	12087	0.8500	161-4-150LA-6470-NW.IES

GENERAL

- NO PROVISION OF ANY REFERENCED STANDARD SPECIFICATION, MANUAL OR CODE (WHETHER OR NOT SPECIFICALLY INCORPORATED BY REFERENCE IN THE CONTRACT DOCUMENTS) SHALL BE EFFECTIVE TO CHANGE THE DUTIES AND RESPONSIBILITIES OF OWNER, CONTRACTOR, DESIGN PROFESSIONAL, SUPPLIER, OR ANY OF THEIR CONSULTANTS, AGENTS, OR EMPLOYEES FROM THOSE SET FORTH IN THE CONTRACT DOCUMENTS. NOR SHALL IT BE EFFECTIVE TO ASSIGN TO THE DESIGN PROFESSIONAL OF RECORD OR ANY OF THE DESIGN PROFESSIONAL OF RECORD'S CONSULTANTS, AGENTS, OR EMPLOYEES ANY DUTY OR AUTHORITY TO SUPERVISE OR DIRECT THE FURNISHING OR PERFORMANCE OF THE WORK OR ANY DUTY OR AUTHORITY TO UNDERTAKE RESPONSIBILITIES CONTRARY TO THE PROVISIONS OF THE CONTRACT DOCUMENTS.
- CONTRACT DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE STRUCTURAL DOCUMENTS (DRAWINGS AND SPECIFICATIONS), BUT DO NOT INCLUDE SHOP DRAWINGS, VENDOR DRAWINGS, OR MATERIAL PREPARED AND SUBMITTED BY THE CONTRACTOR.
- REFERENCE TO STANDARD SPECIFICATIONS OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE LATEST STANDARD, CODE, SPECIFICATION OR TENTATIVE SPECIFICATION ADOPTED AT THE DATE OF TAKING BIDS, UNLESS SPECIFICALLY STATED OTHERWISE.
- CONTRACT DOCUMENTS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH THE CODE OF PRACTICE OR SPECIFICATIONS OF ACI, PCI, AISI, SJI OR OTHER STANDARDS, WHERE A CONFLICT OCCURS WITHIN THE CONTRACT DOCUMENTS, THE STRICTEST REQUIREMENT SHALL GOVERN.
- MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODE.
- CONTRACTOR SHALL COORDINATE THE STRUCTURAL DOCUMENTS WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DOCUMENTS. DESIGN PROFESSIONAL SHALL BE NOTIFIED OF ANY DISCREPANCY OR OMISSION. FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS SEE THE ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. DESIGN PROFESSIONAL SHALL BE NOTIFIED OF ANY DISCREPANCY.
- CONTRACTOR HAS SOLE RESPONSIBILITY FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- THE STRUCTURE IS STABLE ONLY IN ITS COMPLETED FORM. TEMPORARY SUPPORTS REQUIRED FOR STABILITY DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION SHALL BE DESIGNED, FURNISHED, AND INSTALLED BY THE CONTRACTOR.
- CONTRACTOR HAS SOLE RESPONSIBILITY TO COMPLY WITH ALL OSHA REGULATIONS.
- ELECTRONIC DRAWING FILES WILL NOT BE PROVIDED TO THE CONTRACTOR. REPRODUCTION OF STRUCTURAL DRAWINGS FOR SHOP DRAWINGS IS NOT PERMITTED.
- REVIEW OF SUBMITTALS OR SHOP DRAWINGS BY THE DESIGN PROFESSIONAL DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW AND CHECK ALL SUBMITTALS AND SHOP DRAWINGS BEFORE SUBMITTING TO THE DESIGN PROFESSIONAL. CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS.
- DETAILS LABELED "TYPICAL" ON THE STRUCTURAL DRAWINGS APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR TO THE TYPICAL DETAILS UNLESS THOSE LOCATIONS ARE SPECIFICALLY DETAILED OTHERWISE.

CODE/DESIGN CRITERIA

- STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
 - INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS
- WIND LOADS:
 - 107 MPH BASIC WIND SPEED
 - IMPORTANCE FACTOR = 1.00
 - EXPOSURE B
- EARTHQUAKE LOADS:
 - SEISMIC IMPORTANCE FACTOR: I = 1.00
 - OCCUPANCY CATEGORY: B
 - SHORT PERIOD MAPPED SPECTRAL RESPONSE COEFFICIENT, S_s = 0.2369
 - 1 SECOND PERIOD MAPPED SPECTRAL RESPONSE COEFFICIENT, S₁ = 0.0993
 - SITE CLASS D
 - SHORT PERIOD DESIGN SPECTRAL RESPONSE COEFFICIENT, S_D = 0.253
 - 1 SECOND PERIOD DESIGN SPECTRAL RESPONSE COEFFICIENT, S_{D1} = 0.159
 - SEISMIC DESIGN CATEGORY: C
- UNLESS NOTED OTHERWISE CALCULATED INDIVIDUAL MEMBER DEFLECTIONS (IN INCHES) DO NOT EXCEED THE FOLLOWING:

	DEAD LOAD	LIVE LOAD	DEAD + LIVE LOAD
ROOF MEMBERS:	L/360	L/360	L/240
FLOOR MEMBERS:	L/360	L/360	L/240

 - WHERE, L = SPAN LENGTH (IN INCHES) BETWEEN SUPPORTS. (FOR CANTILEVERS, L IS TWICE THE LENGTH OF THE CANTILEVER.) NOTE THAT THE TOTAL MAXIMUM CALCULATED FLOOR SYSTEM DEFLECTION WILL BE THE SUM OF THE DEFLECTIONS OF THE SUPPORTED ELEMENTS IN A BAY.
- NO PROVISIONS HAVE BEEN MADE FOR FUTURE HORIZONTAL OR VERTICAL EXPANSION.

FOUNDATION

- ALL FOUNDATIONS SHALL BE INSTALLED UNDER THE GUIDANCE OF A REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER IN THE PROJECT STATE. THE GEOTECHNICAL ENGINEER SHALL GIVE CONSIDERATION TO THE TYPE OF BUILDING AND FOUNDATION LOADS INVOLVED AS WELL AS THE REQUIREMENTS OF THESE DOCUMENTS. DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR SUBSURFACE CONDITIONS ENCOUNTERED IN THE FIELD DIFFERENT TO THOSE ASSUMED FOR DESIGN.
- STRUCTURAL TESTING/INSPECTION AGENCY SHALL CERTIFY THE BEARING MEDIUM.
- INDIVIDUAL SPREAD FOOTINGS AND CONTINUOUS FOOTINGS SHALL BEAR ON SOIL CAPABLE OF SUPPORTING 2000 PSF AND 2000 PSF, RESPECTIVELY.
 - NO FOOTINGS SHALL BEAR ON ROCK. UNDERCUT ROCK A MINIMUM OF 2 FEET BELOW BOTTOM OF FOOTING AND REPLACE WITH STRUCTURAL FILL.
- FOUNDATION WALLS ARE DESIGNED FOR LATERAL PRESSURES DUE TO THE FOLLOWING EQUIVALENT FLUID DENSITIES:
 - WALLS FREE TO DISPLACE AT TOP(ACTIVE CONDITION): 32.6 PCF
- PROOF ROLL BUILDING AREAS WITH TWO COMPLETE COVERAGES OF A LOADED DUMP-TRUCK OR SCRAPER. REPLACE SOFT AREAS WITH COMPACTED STRUCTURAL FILL AS REQUIRED BY THE SPECIFICATIONS.
- DENSIFY BUILDING AREAS AND A MINIMUM OF 15'-0" OUTSIDE THE BUILDING PERIMETER USING A VIBRATORY ROLLER (SEE SPECIFICATIONS).
- UNDERCUT THE ENTIRE BUILDING AREA TO THE EXTENT SHOWN ON THE STRUCTURAL DOCUMENTS AND REPLACE WITH COMPACTED STRUCTURAL FILL AS REQUIRED BY THE SPECIFICATIONS.
- STRUCTURAL FILL SHALL CONTAIN NO ORGANIC MATERIAL AND BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. STRUCTURAL FILL UNDER SLABS AND WITHIN 10'-0" OF THE BUILDING FOOTPRINT SHALL BE PLACED IN LIFTS OF THICKNESS DETERMINED BY THE INDEPENDENT TESTING AGENCY AND COMPACTED TO AT LEAST 95% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698. THE TOP 12" SUB-BASE UNDER SLABS ON GRADE SHALL BE COMPACTED TO AT LEAST 98% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY. ALL BACKFILL, COMPACTION AND PROOF ROLLING OPERATIONS SHALL BE OBSERVED BY AN INDEPENDENT TESTING LABORATORY.
- BACKFILL SHALL NOT BE PLACED AGAINST EXTERIOR OR RETAINING WALLS UNTIL THE WALLS HAVE ACHIEVED THEIR DESIGN STRENGTH AND THEIR LATERAL SUPPORT ELEMENTS ARE INSTALLED. PROVIDE ADEQUATE DRAINAGE AT BASEMENT AND RETAINING WALLS (SEE ARCHITECTURAL).
- ALL FOOTINGS AND TURN DOWN SLAB EDGES SHALL PENETRATE TO A MINIMUM DEPTH OF 12" BELOW FINISHED GRADE.

REINFORCEMENT

- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND HAVE MINIMUM SIDE AND END LAPS OF 8".
- SUBMIT SHOP DRAWINGS WHICH ADEQUATELY DEPICT THE REINFORCING BAR SIZES AND PLACEMENT. WRITTEN DESCRIPTION OF REINFORCEMENT WITHOUT ADEQUATE SECTIONS, ELEVATIONS, AND DETAILS IS NOT ACCEPTABLE.
- SPLICES SHALL BE CLASS B IN ACCORDANCE WITH ACI 318, UNLESS NOTED OTHERWISE. REINFORCEMENT SHALL BE SPLICED ONLY AT LOCATIONS SHOWN OR NOTED IN THE STRUCTURAL DOCUMENTS. EXCEPT REINFORCEMENT MARKED "CONTINUOUS" CAN BE SPLICED AT LOCATIONS DETERMINED BY CONTRACTOR. SPLICES AT OTHER LOCATIONS SHALL BE APPROVED IN WRITING BY THE DESIGN PROFESSIONAL.
- REINFORCING STEEL DESIGNATED CONTINUOUS SHALL BE LAPPED AS FOLLOWS:
 - CONCRETE REINFORCEMENT: CLASS B TENSION LAP
- PROVIDE DOWELS FROM FOUNDATIONS THE SAME SIZE AND NUMBER AS THE VERTICAL WALL OR COLUMN REINFORCING, UNLESS NOTED OTHERWISE.
- PLACE REINFORCEMENT AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - 7.1 CONCRETE REINFORCEMENT COVER
 - EXPOSED TO EARTH OR WEATHER:
 - UNFORMED CAST AGAINST EARTH 3" CLEAR
 - FORMED #6 AND LARGER 2" CLEAR
 - FORMED #5 AND SMALLER 1-1/2" CLEAR
- ADHESIVE FOR REINFORCING DOWELS IN EXISTING CONCRETE SHALL CONFORM TO ASTM C881-02, TYPE IV, GRADE 3, CLASS A, B, & C EXCEPT GEL TIMES AND EPOXY CONTENT. ADHESIVE SHALL CONSIST OF A TWO COMPONENT ADHESIVE SYSTEM CONTAINED IN SIDE BY SIDE PACKAGING CONNECTED TO A MIXING NOZZLE WHICH THOROUGHLY MIXES THE COMPONENTS AS IT IS INJECTED INTO THE HOLE. ADHESIVE SHALL HAVE PASSED ICC EVALUATION SERVICES, INC (ICC-ES) ACCEPTANCE CRITERIA 308 FOR LONG TERM CREEP. REINFORCING INSTALLED IN CONCRETE THAT MAY BECOME CRACKED UNDER SERVICE LOADS SHALL BE EVALUATED BY ICC-ES ACCEPTANCE CRITERIA 308 AND BE SPECIFICALLY APPROVED FOR USE IN CRACKED CONCRETE. CONTACT DESIGN PROFESSIONAL FOR DETERMINATION OF CRACKED OR UNCRACKED CONCRETE CONDITION UNLESS CONDITION IS NOTED ON THE DRAWINGS. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM EMBEDMENT LENGTH SHALL BE 12 BAR DIAMETERS, UNLESS NOTED OTHERWISE.
- ALL DOWELS AND TERMINATING BARS SHALL HAVE A STANDARD 90 DEGREE HOOK.
- ALL HORIZONTAL REINFORCING SHALL BE CONTINUOUS THROUGH CONTROL AND/OR CONSTRUCTION JOINTS AND AROUND CORNERS.

CAST-IN-PLACE CONCRETE

- CONCRETE WORK SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.
- CONCRETE SHALL HAVE THE FOLLOWING MINIMUM SPECIFIED 28-DAY COMPRESSIVE STRENGTH:
 - 2.1 NORMAL WEIGHT STRUCTURAL CONCRETE:
 - FOOTINGS, PEDESTALS 3000 PSI
 - RETAINING WALLS 4000 PSI
- PIPES OR DUCTS SHALL NOT EXCEED ONE-THIRD THE SLAB OR WALL THICKNESS INCLUDING CROSSING UNLESS SPECIFICALLY DETAILED IN THE STRUCTURAL DOCUMENTS. ALL PIPES AND DUCTS SHALL BE PLACED IN THE MIDDLE THIRD OF THE SLAB OR WALL THICKNESS UNLESS SPECIFICALLY DETAILED OTHERWISE IN THE STRUCTURAL DOCUMENTS. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION OF SLEEVES, ACCESSORIES, ETC.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENTS, CLIPS OR GROUNDS REQUIRED TO BE ENCASED IN CONCRETE.
- CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY THE DESIGN PROFESSIONAL. NO HORIZONTAL CONSTRUCTION JOINTS ARE PERMITTED EXCEPT THOSE SHOWN ON THE STRUCTURAL DRAWINGS.
- DEFECTIVE AREAS IN CONCRETE INCLUDING, BUT NOT LIMITED TO, HONEY-COMBING, SPALLS, AND CRACKS WITH WIDTHS EXCEEDING 0.016 INCH SHALL BE REPAIRED. EXTENT OF DEFECTIVE AREA TO BE DETERMINED BY THE DESIGN PROFESSIONAL.
- CONCRETE MIX DESIGN FOR 3000 PSI CONCRETE SHALL BE BASED ON A MAXIMUM AGGREGATE SIZE OF 1 IN. MAXIMUM WATER/CEMENT RATIO OF .58 FOR NON-AIR-ENTRAINED CONCRETE AND .48 FOR AIR-ENTRAINED CONCRETE AND A MAXIMUM SLUMP OF 4 IN. AIR ENTRAINED CONCRETE SHALL BE USED FOR EXTERIOR EXPOSED CONCRETE WITH AN AIR CONTENT BETWEEN 5.5 AND 7.5 PERCENT.
- CONCRETE SLABS ON GRADE SHALL NOT BE LOADED UNTIL A MINIMUM CONCRETE STRENGTH OF 1800 PSI HAS BEEN ATTAINED AND THE CONCRETE IS AT LEAST THREE DAYS OLD. ALL OTHER CONCRETE MEMBERS SHALL NOT BE LOADED UNTIL THE SPECIFIED CONCRETE DESIGN STRENGTH HAS BEEN ATTAINED.
- CONCRETE SHALL BE TESTED IN ACCORDANCE WITH ACI 301 AND THE SPECIFICATIONS FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. AT A MINIMUM CONCRETE SPECIMENS SHALL BE TAKEN FOR EVERY 100 YARDS OR PORTION THEREOF FOR EACH MIX DESIGN PLACED IN A DAY. CONCRETE TEST REPORTS SHALL BE AVAILABLE ON SITE FOR INSPECTION.
- C.J. ON THE SLAB AND FOUNDATION PLAN INDICATES A KEY-FORMED CONSTRUCTION JOINT OR SAW-CUT CONTROL JOINT IN THE CONCRETE SLAB ON GRADE. SAW-CUT CONTROL JOINTS SHALL BE INSTALLED WITHIN 12 HOURS OF SLAB PLACEMENT. CONTINUE REINFORCEMENT THROUGH JOINTS. CONSTRUCTION AND/OR CONTROL JOINTS SHALL BE SPACED NO FARTHER APART THAN 48 TIMES THE SLAB THICKNESS OC IN EACH DIRECTION CREATING PANELS WITH AN ASPECT RATIO NOT GREATER THAN 2:1.
- UNLESS NOTED OTHERWISE, ALL REINFORCING SHALL BE CONTACT LAP SPLICED WITH A CLASS B SPLICE IN ACCORDANCE WITH ACI 318-05. FOR BARS WITH MINIMUM COVER AND SPACING GREATER THAN 2d_b AND 3d_b RESPECTIVELY, THE MINIMUM SPLICE LENGTH OF NOT LESS THAN 48d_b (d_b=BAR DIAMETER) SHALL BE USED. SPLICE LENGTHS SHALL BE INCREASED BY A FACTOR OF 1.3 FOR TOP REINFORCEMENT. LAP WELDED WIRE FABRIC (WWF) ONE SPACE PLUS 2 IN. ON ALL SIDES AT SPLICES.
- ALL EXPOSED CORNERS OF CONCRETE SHALL HAVE A CHAMFER OR RADIUS OF 3/4"; UNLESS NOTED OTHERWISE.
- CONCRETE SHALL RECEIVE THE FOLLOWING FINISHES:
 - EXTERIOR SLABS: BROOM FINISH IN DIRECTION OF SLOPE
 - ALL OTHER CONCRETE: STEEL TROWEL FINISH
- MAINTAIN CONCRETE AFTER PLACEMENT WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR THE PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE (NOT LESS THAN 7 DAYS). COMPLY WITH THE REQUIREMENTS OF ACI 308- STANDARD PRACTICE FOR CURING CONCRETE; AMERICAN CONCRETE INSTITUTE. A COMBINATION CURING AND SEALING COMPOUND SHALL BE APPLIED AFTER THE CONCRETE HAS BEEN FINISHED OR THE FORMS REMOVED. COMPOUND SHALL MEET THE REQUIREMENTS OF ASTM C1315.

ENGINEER:



Foresite Group, Inc.
3740 Davinci Court Suite 100
Peachtree Corners, GA 30098 | www.fg-inc.net
770.368.1399
770.368.1944

DEVELOPER:

GLEN NEDZA
500 EAST MILL RD.
CITYTOWN, GA 30115
(404) 886-9502

CONTACT: GLEN NEDZA

PROJECT:

CHEROKEE 2
 DETENTION POND RETAINING WALL
 500 EAST ROPE MILL ROAD
 CANTON, GA 30115

SEAL:



REVISIONS _____ DATE _____

PROJECT MANAGER: JPW

DRAWING BY: IL

JURISDICTION: GA

DATE: 04/08/2021

SCALE: VARIES

TITLE:

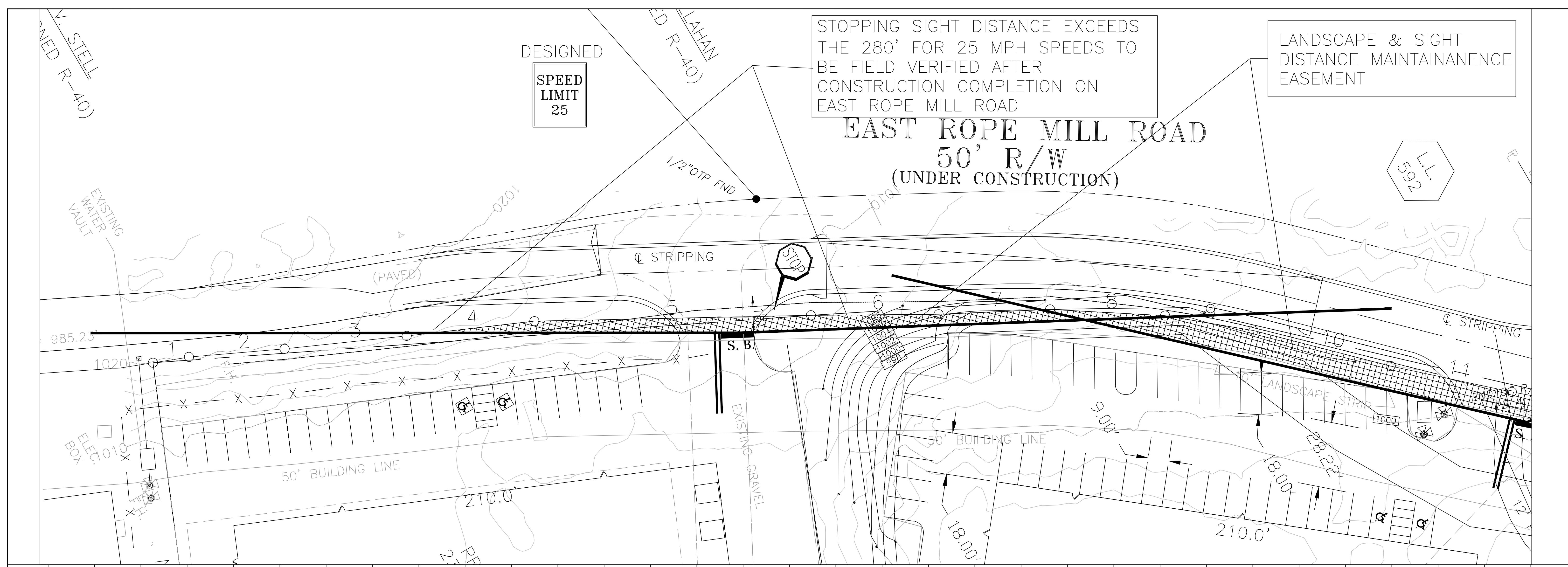
GENERAL NOTES

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S-001

COMMENTS:

JOB/FILE NUMBER: 1657.002

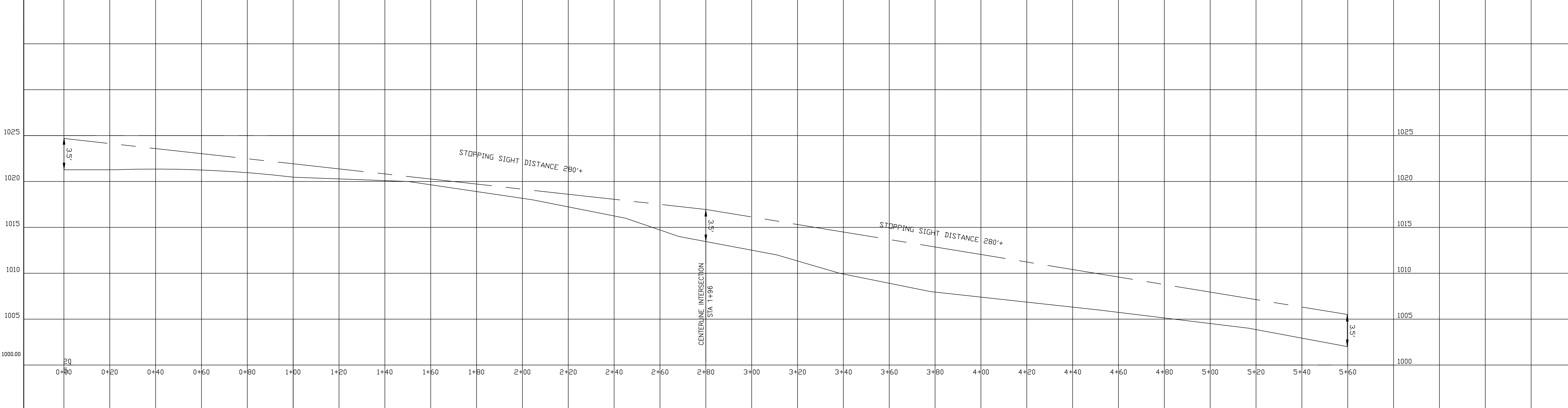


STOPPING SIGHT DISTANCE EXCEEDS THE 280' FOR 25 MPH SPEEDS TO BE FIELD VERIFIED AFTER CONSTRUCTION COMPLETION ON EAST ROPE MILL ROAD

LANDSCAPE & SIGHT DISTANCE MAINTAINANCE EASEMENT

EAST ROPE MILL ROAD
50' R/W
(UNDER CONSTRUCTION)

DESIGNED
SPEED LIMIT
25



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE

SCALE
 H: 1" = 20'
 V: 1" = 5'

ENTRANCE 1 PLAN & PROFILE

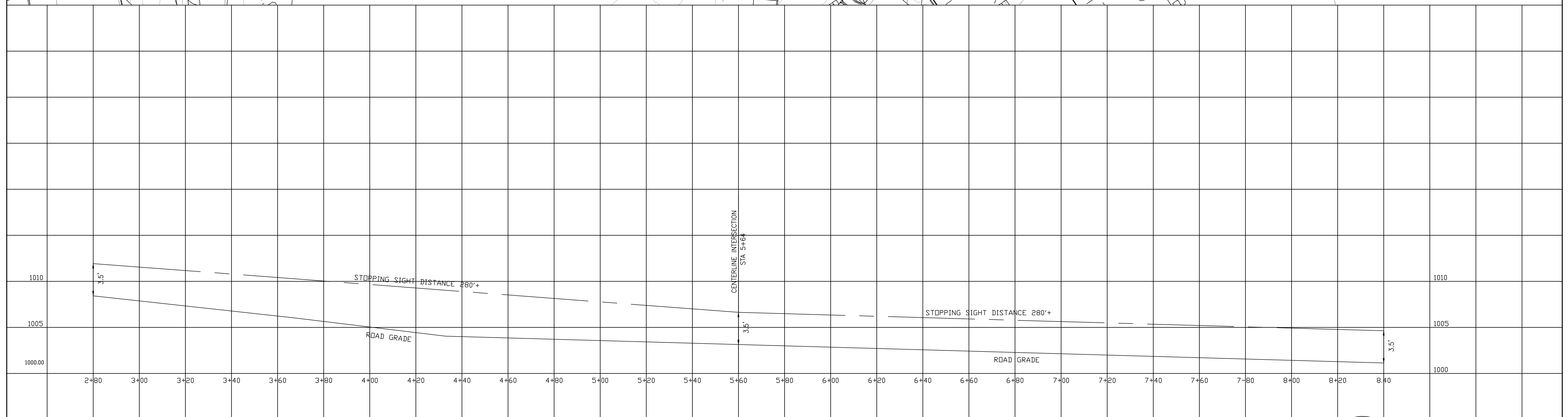
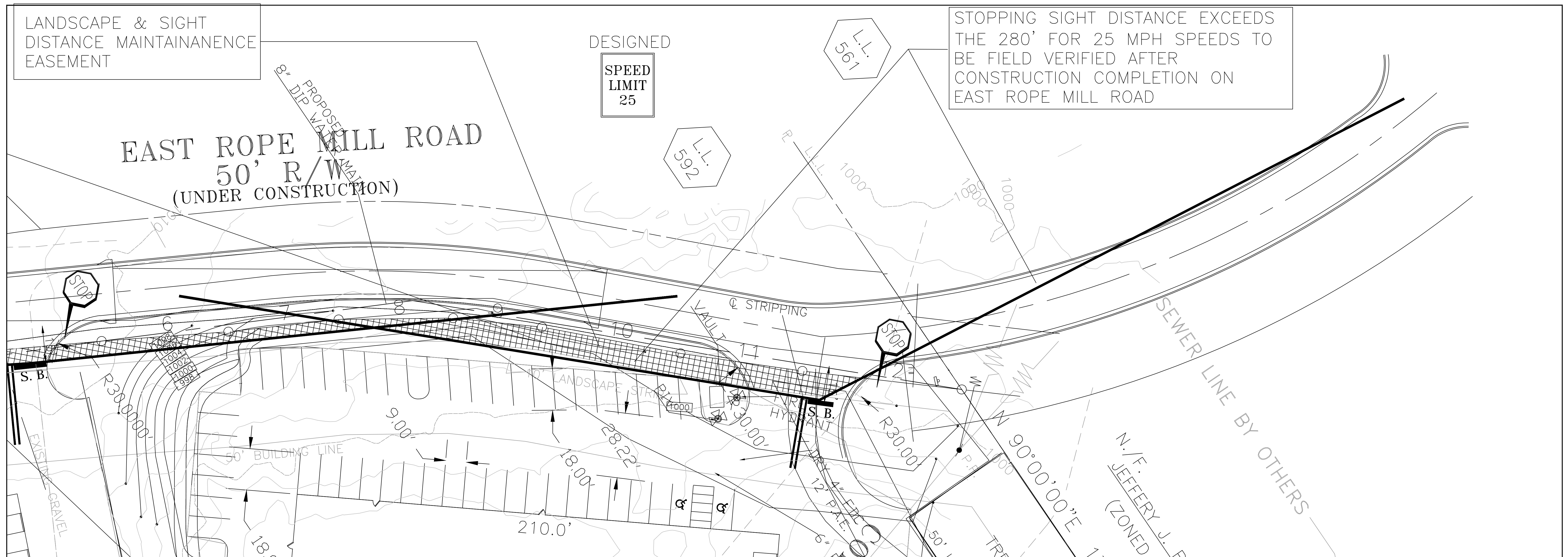
SHEET	21
OF	23

LANDSCAPE & SIGHT
DISTANCE MAINTAINANCE
EASEMENT

DESIGNED

SPEED
LIMIT
25

STOPPING SIGHT DISTANCE EXCEEDS
THE 280' FOR 25 MPH SPEEDS TO
BE FIELD VERIFIED AFTER
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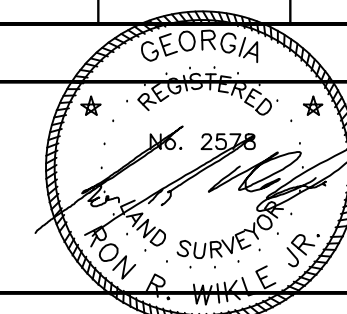


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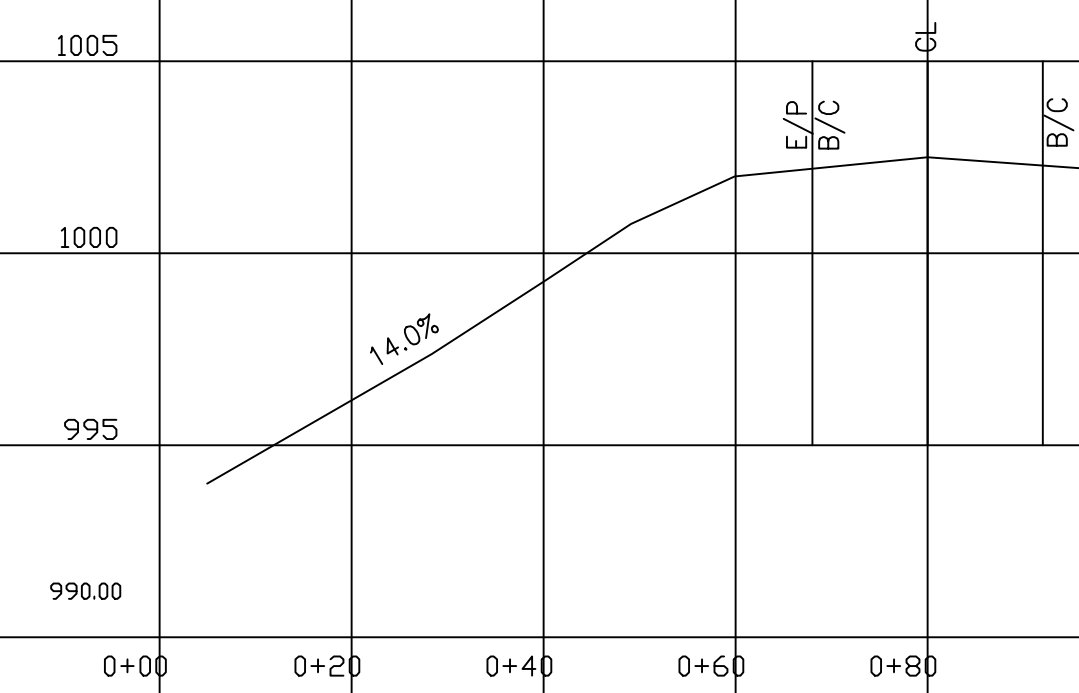
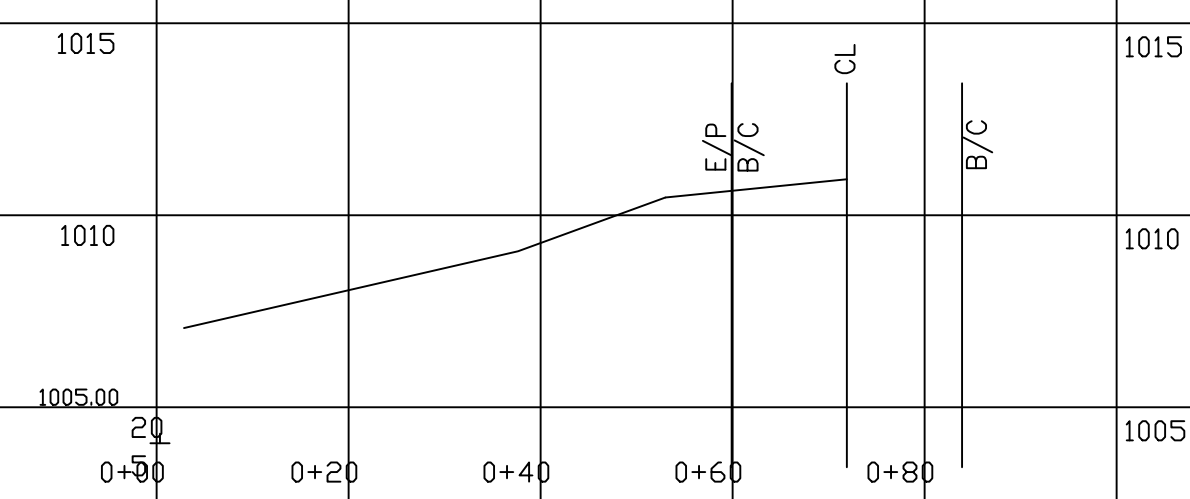
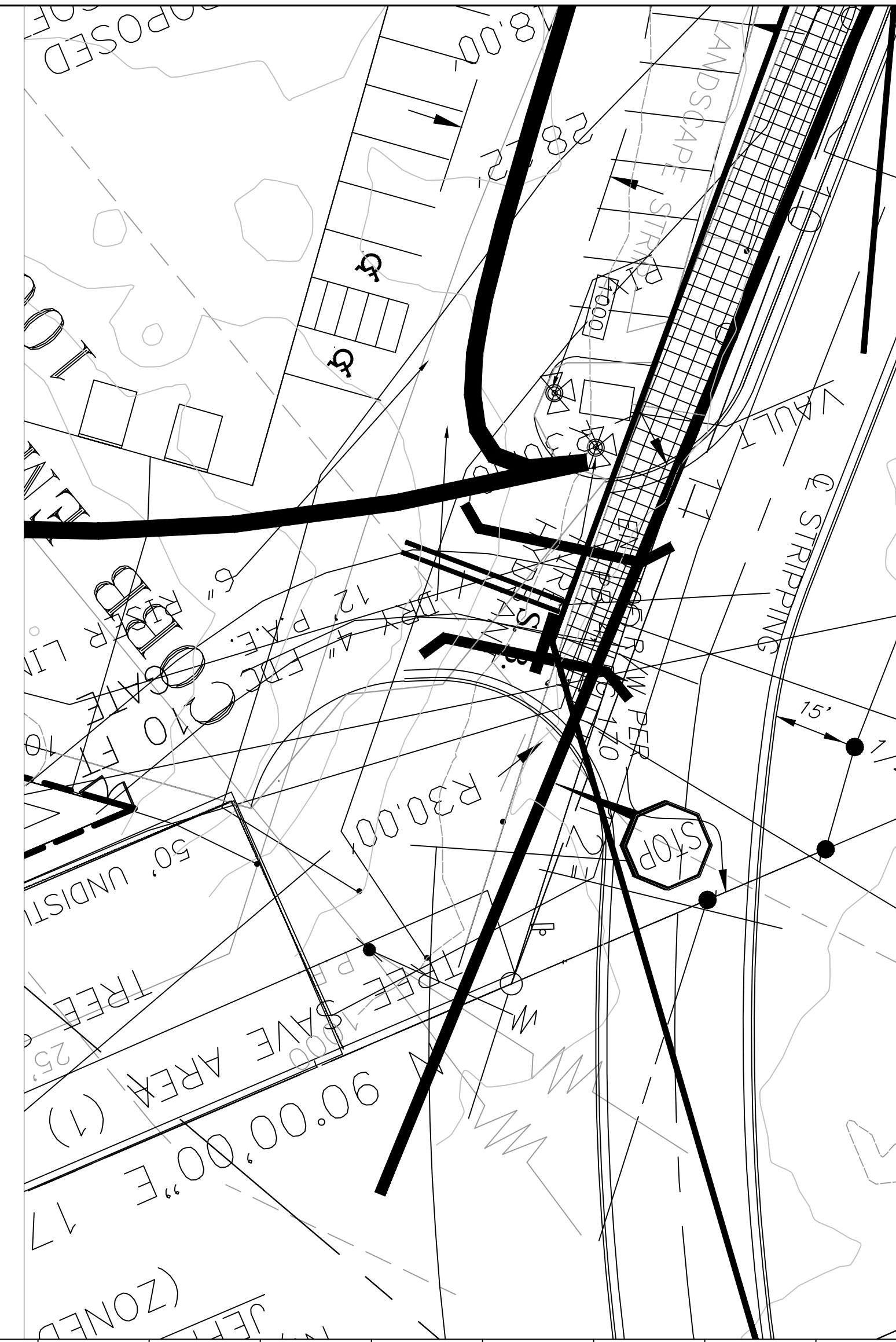
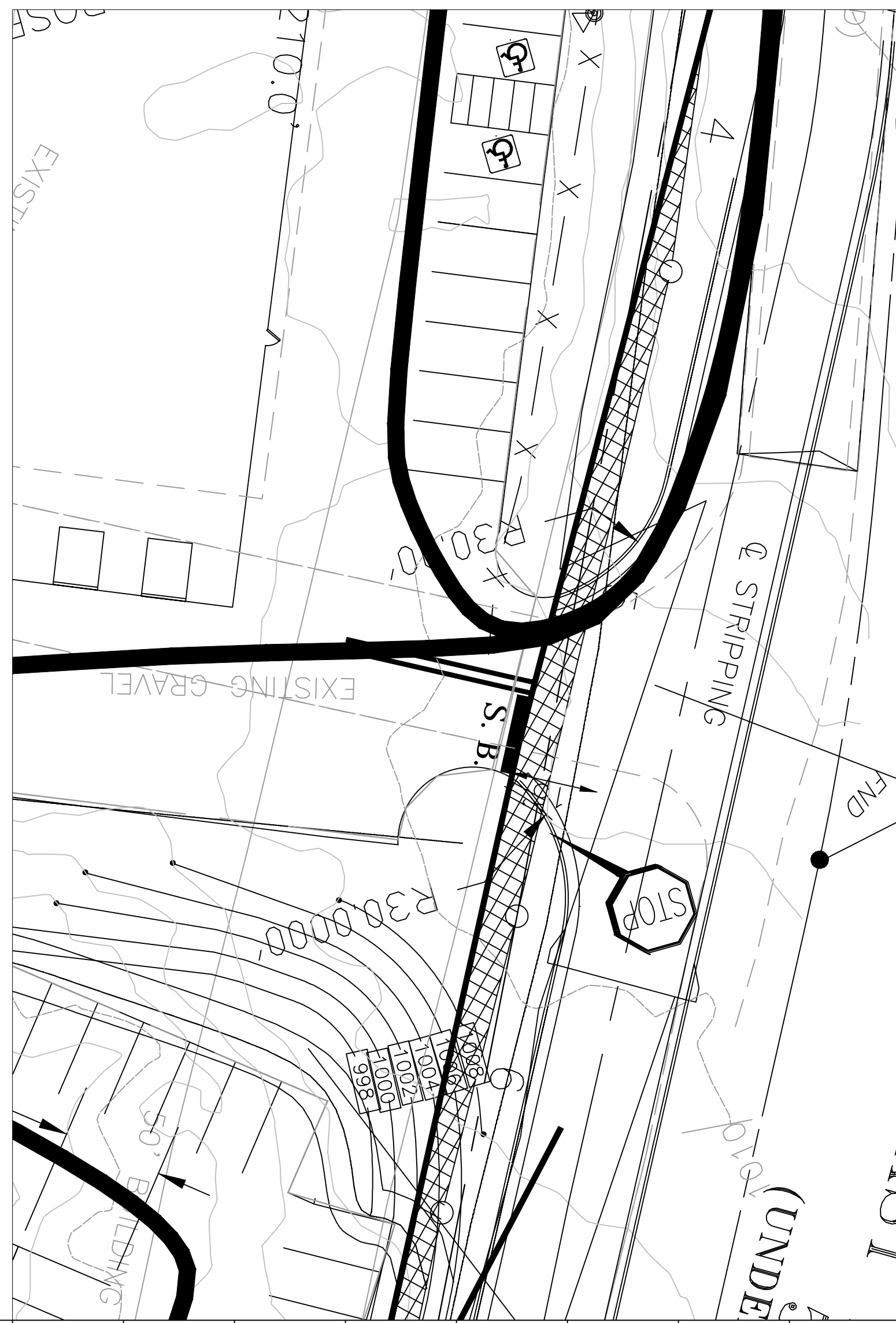
DATE

SCALE
H: 1" = 20'
V: 1" = 5'

ENTRANCE 2 PLAN & PROFILE



SHEET
21
OF
23



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE	SCALE
	H: 1" = 20"
	V: 1" = 5"

DRIVEWAY 1 & 2 PLAN & PROFILE

